

# Application for a Planning Permit

## Section 1: LAND DETAILS

Unit Number:	Street Number: <b>94</b>	Street Name: <b>Albert Street</b>
Town: <b>Warragul</b>	Postcode: <b>3820</b>	

## FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

### Option A:

Lot No:	<b>1</b>		
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/>	Title Plan <input checked="" type="checkbox"/>	Plan of Subdivision <input type="checkbox"/>
Plan Number:	<b>TP 874107R</b>		

### Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

## Section 2: PERMIT APPLICANT

Name:	
Business:	<b>Warragul RSL Sub-Branch</b>
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

## Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

<b>\$180,000</b>
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**Section 5: PROPOSAL** You must give full details of the proposal being applied for. Insufficient or unclear information may result in your application being refused. Advertised

For what use, development or other matter do you require a permit?

**Development:**

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input checked="" type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

**Use:**

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

**Subdivision:**

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivison Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

**Subdivision / Vegetation Removal:**

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

**Other:**


Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes     No     Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

**FURTHER DETAILS OF PROPOSAL** (optional)

Please refer to attached proposed extension to Warragul RSL document for further details.	

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**Section 6: EXISTING CONDITIONS** Describe how the land is used and developed now.

Provide a plan of the existing conditions. Photos are also helpful.

The Warragul RSL building at 94 Albert Street, Warragul is currently utilised by the Warragul RSL Sub-Branch to conduct its activities which primarily include meetings, commemorative events, social functions and activities for RSL Branch members and also community groups. Please refer to the attached design plan which includes a plan of the existing conditions. Also attached are photos that show the current rear of the building for where the extension is proposed and also the location of the proposed roof cover.

**Section 7: PRE-APPLICATION MEETING** Has there been a Pre-Application meeting with a Council Planning Officer?

No <input type="checkbox"/>	
Yes <input checked="" type="checkbox"/>	If yes, with whom?
Date of this meeting	4.1 2024

**Section 8: DECLARATION** This form must be signed. Complete box A or B

<p><b>A.</b> I declare that I am the Applicant and owner of this land and that all information given is true and correct.</p>	<p>Owner/ Applicant signature:</p>	<p>Date:</p>
<p><b>B.</b> I/<del>We</del> the Applicant declare that I/<del>We</del> have notified the owner about this application and that all information given is true and correct.</p>	<p>Applicant Signature:</p>	<p>20/06/2024 Date:</p>

**CHECK LIST** Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

- A fully completed and signed copy of this form.
  
- Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*

**Contact Council to determine the appropriate fee.**

- Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).

- Provided plans showing the layout and details of the proposal

- Provided any information required by the planning scheme, requested by Council

- Provided a description of the likely effect of the proposal (if required)

- Completed the declaration in Section 8

- Provided a contact phone number and e-mail address

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**E-mail:** planning@bawbawshire.vic.gov.au    **Mail:** Planning Department, Baw Baw Shire Council  
PO Box 304  
Warragul VIC 3820

**Phone:** 5624 2411

**In Person:** Customer Service Centre: 33 Young Street Drouin

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies. Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

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# WARRAGUL RSL

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## PROPOSED EXTENSION TO WARRAGUL RSL BUILDING ADDRESS: 94 ALBERT STREET, WARRAGUL, VIC 3820

### PROPOSAL SUMMARY - ADDITION TO PLANNING PERMIT APPLICATION

The Warragul RSL building at 94 Albert Street, Warragul was purchased by RSL of Australia (Victorian Branch) in 2006 in its capacity as trustee for the Warragul RSL Sub- Branch. The building is utilised by the Warragul RSL Sub-Branch to conduct its activities which primarily include meetings, commemorative events, social functions and activities for RSL Branch members and also community groups.

The Warragul RSL Sub-Branch is proposing to extend the rear of the building as per the included preliminary drawings to provide an externally accessed office facility to be used as a Veteran's Welfare office, which has the support of RSL Victoria. The office will enable the Warragul RSL to provide welfare support services to Veterans and their family members in a facility separate to the main building with its own private entrance to enable Veteran's and their families to meet with RSL welfare officers with regards to Veteran support services in private, without entering the main building. Currently the Warragul RSL has no separate private internal space in which to accommodate Veteran's welfare services. The Warragul RSL has only a large main hall and one community meeting room, both of which are in constant use. The additional office would provide the Warragul RSL with the ability to conduct private meetings in a non-military space which is vital for Veteran's who may be suffering from PTSD, depression or anxiety. The office would only be utilised during day-time business hours which would not impact neighbouring properties given that the building is in a general residential zone.

The project will involve the removal of an existing concrete pad, small garden bed and rear sleeper retaining wall. These will be replaced by a new sleeper retaining wall in alignment with the remaining existing retaining wall at the rear, and new garden beds along the fence line with the adjoining neighbour to substitute the small bed that will be removed. The proposed addition at the rear of the building is in alignment with the existing current rear and side walls. Entrance to the new office will be via an existing side gate from the front car park and paved pathway to the rear.

In addition to the office, it is also proposed to build a small roof cover over the kitchen external door and adjacent community room external door. These are currently exposed with no roof covering, and so provide no weather protection for these areas.

The site has a heritage overlay with regards to an existing oak tree located at the very front of the property, in the car park on the fence line of Albert Street. This project in no way impacts the tree as the proposed works would be conducted at the rear of the RSL building and are beyond a 15 metre zone from the tree.

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**General Notes (NCC 2022 BCA Vol 1)**

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, the National Construction Code Series 2022 Building Code of Australia Volume 1 and all relevant current Australian standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2022 Building Code of Australia Volume 1.
- All materials and construction practice shall meet the Performance Requirements of the Building Code of Australia. Where a performance solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the Building Code of Australia.
- Step sizes (other than for spiral stairs) to be:
  - Risers (R) 190mm maximum and 115mm minimum
  - Going (G) 355mm maximum and 250mm minimum for public stairways and 355mm maximum and 240mm minimum for Private stairways
  - 2R + 1G = 700mm maximum and 550mm minimum
  - Constructed with a less than 125mm gap to open treads
- All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
  - 1000mm minimum above finished surface level of balconies, landings or the like, and
  - 865mm minimum above finished surface level of stairnosing or ramp, and
  - Vertical with a less than 125mm gap between, and
  - Any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
- Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual sizes may vary according to manufacturer. Windows to be flashed all around.
- Waterproofing and water resistance of wet areas to comply with NCC Part F2D2
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of AS3700-2018 Masonry structures.
- All storm water to be taken to the legal point of discharge to the relevant authorities' approval.
- These drawings shall be read in conjunction with all architectural specifications, relevant structural and all other consultants' drawings/details and specifications and with any other written instructions issued in the course of the contract.
- All measurements and levels in millimetres unless noted otherwise.
- Figured dimensions take precedence over scaled dimensions.
- The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures and all essential services to be maintained during all works.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The builder and subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective Supply Authority requirements.
- The builder and subcontractor shall ensure that all storm water drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the client of *[insert Building Designer]* ('the Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
  - The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of *[building designer's name]* except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to *[building designer's name]*.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- Refer to Civil Engineers design and details for all stormwater, car parking and driveway construction requirements.
- Refer to fire services design for all hydrant, hose reels and extinguisher details.
- Electrical switchboards located in the path of travel to exits to be enclosed in a metal or other non combustible cabinet with smoke proof doors. Significant switchboards shall be provided with a 5kg carbon dioxide extinguisher or another type of extinguisher with a minimum classification of 1A:E and fitted with a hose complete with extinguisher identification signage and shall be located between 2m and 20m from the significant switchboard.
- Fire hazard properties of materials and assemblies to comply with NCC Specification 7.
- Mechanical ventilation or air-conditioning of rooms to be provided with a system complying with AS1668.2 and AS/NZS 3666.1 as amended. Exhaust outlets to be located no closer than 6.0m to fresh air inlets.
- Sediment pollution control:**
  - A site management plan is to be implemented during construction to control sediment run-off in accordance with EPA Victoria publication #275 'construction techniques for sediment pollution control'.
  - Provide 'propex' or written approved equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits / sumps and install 'silt stop' filter bags over all storm water entry pits during construction works.
  - 'Supergro' or written approved equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during re vegetation period.

**ENGINEER & BUILDER ADVICE**

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, ENGINEERS DESIGNS, COMPUTATIONS AND GEOTECHNICAL REPORTS. WRITTEN SPECIFICATION TAKE PRECEDENCE OVER THESE DRAWINGS.

LOCAL AUTHORITIES TO ADVISE REQUIREMENTS FOR LOCATION OF LPOD SEWER POINT LOCATION AUTHORITIES ASSET LOCATIONS SNOW LOAD REQUIREMENTS FLOOD INUNDATION BUSHFIRE PROTECTION TERMITE TREATMENT WIND SPEED CALL 1100 DIAL BEFORE YOU DIG

Issue History				
Issue	ID	Name	Revision	Changes
<b>04-TP02, Preliminary Drawings, 8/05/2024 8:26 AM</b>				
	PD-1	General Notes	04-TP02	TP02-14
	PD-2	Existing Site Plan	04-TP02	
	PD-3	Existing Floor Plan	04-TP02	
	PD-4	Existing Elevations	04-TP02	
	PD-5	Demo Floor Plan	04-TP02	TP02-01, TP02-02
	PD-6	Demo Elevations	04-TP02	TP02-03
	PD-7	Proposed Site Plan	04-TP02	TP02-04, TP02-05
	PD-8	Proposed Floor Plan	04-TP02	TP02-06, TP02-07
	PD-9	Proposed Roof Plan	04-TP02	TP02-08
	PD-10	Proposed Elevations	04-TP02	TP02-09, TP02-10, TP02-11, TP02-12, TP02-13

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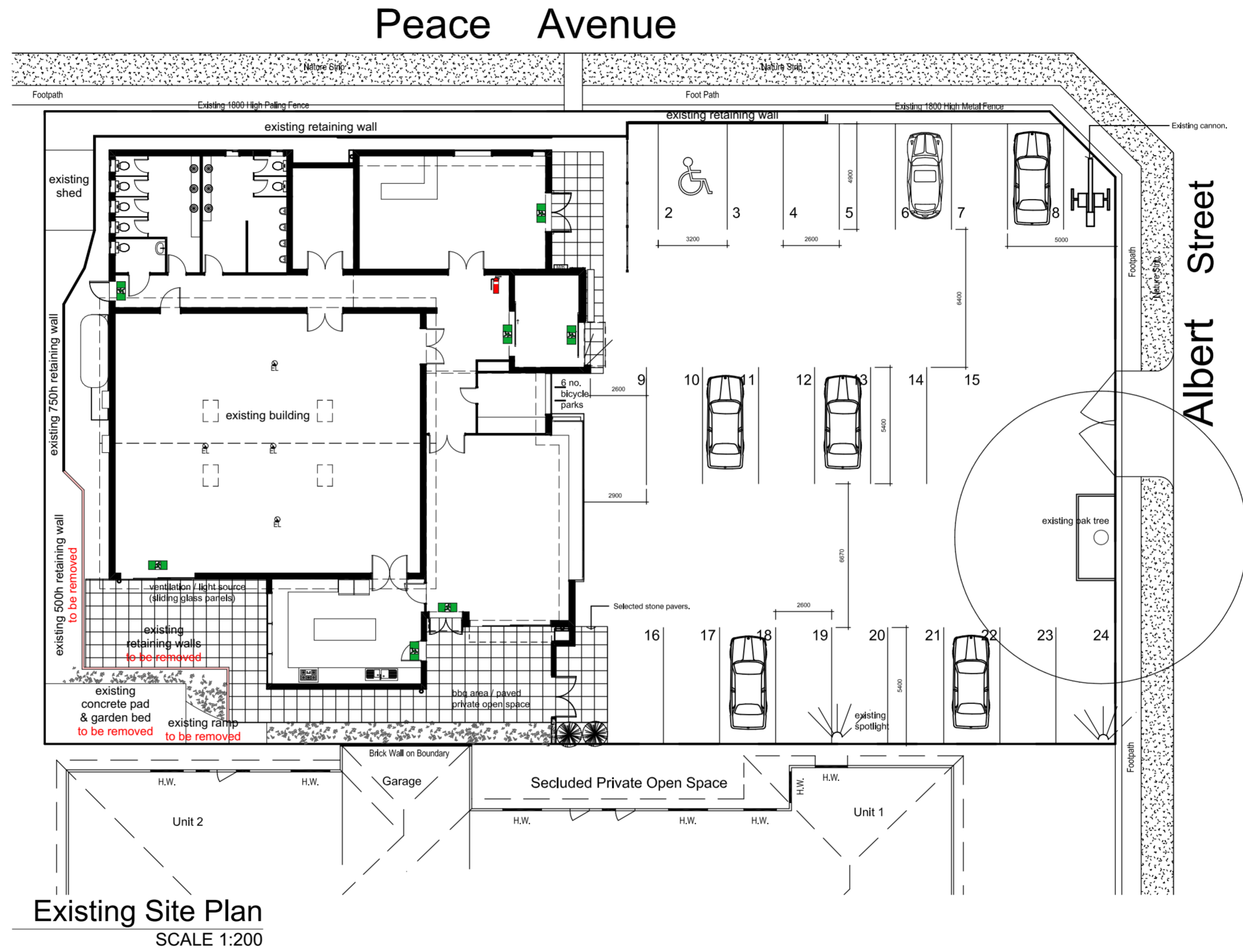
Buildingdesigned | 54 Queen Street Warragul 3820 | P. 5623 2534 | info@buildingdesigned.com.au | www.buildingdesigned.com.au | find us on Facebook & Instagram

<p>MEMBER Building Designers Association Victoria</p>	<p>Design and Documents under copyright. Do not reproduce without written authorisation from Graeme Parker.</p>	<p>54 QUEEN STREET WARRAGUL email: info@buildingdesigned.com.au mob: 0488 142 227 DP-AD 28770</p>	CLIENT:	PROJECT: Alteration & Addition to Existing Building	DRAWING: PD-1/10	SHEET SIZE: A2	AREA: 122.25	Issue Name	Issue Name	Issue date	
			Warragul RSL	94 Albert Street Warragul	JOB NO: 2379	01 Existing Floor Area	02 Proposed Office Area	03 Proposed Porch Area	04-TP02 Preliminary Drawings	04-TP02 Preliminary Drawings	30/10/2023 2:26 PM
			DRAWING TITLE:		DRAWN: JVR						
			Preliminary Drawings		PLOT: 8/05/2024						2:19 PM

DATE: 15/09/2023

Page 6 of 12.07 m<sup>2</sup>

Z:\My Drive\Buildingdesigned\Drawings\2023\2379 Warragul RSL\94 Albert Rd Warragul 38201-Model\2379 Warragul RSL\94 Albert Rd Warragul 3820 Proposed 04-TP-02.ppt



Existing Site Plan  
SCALE 1:200

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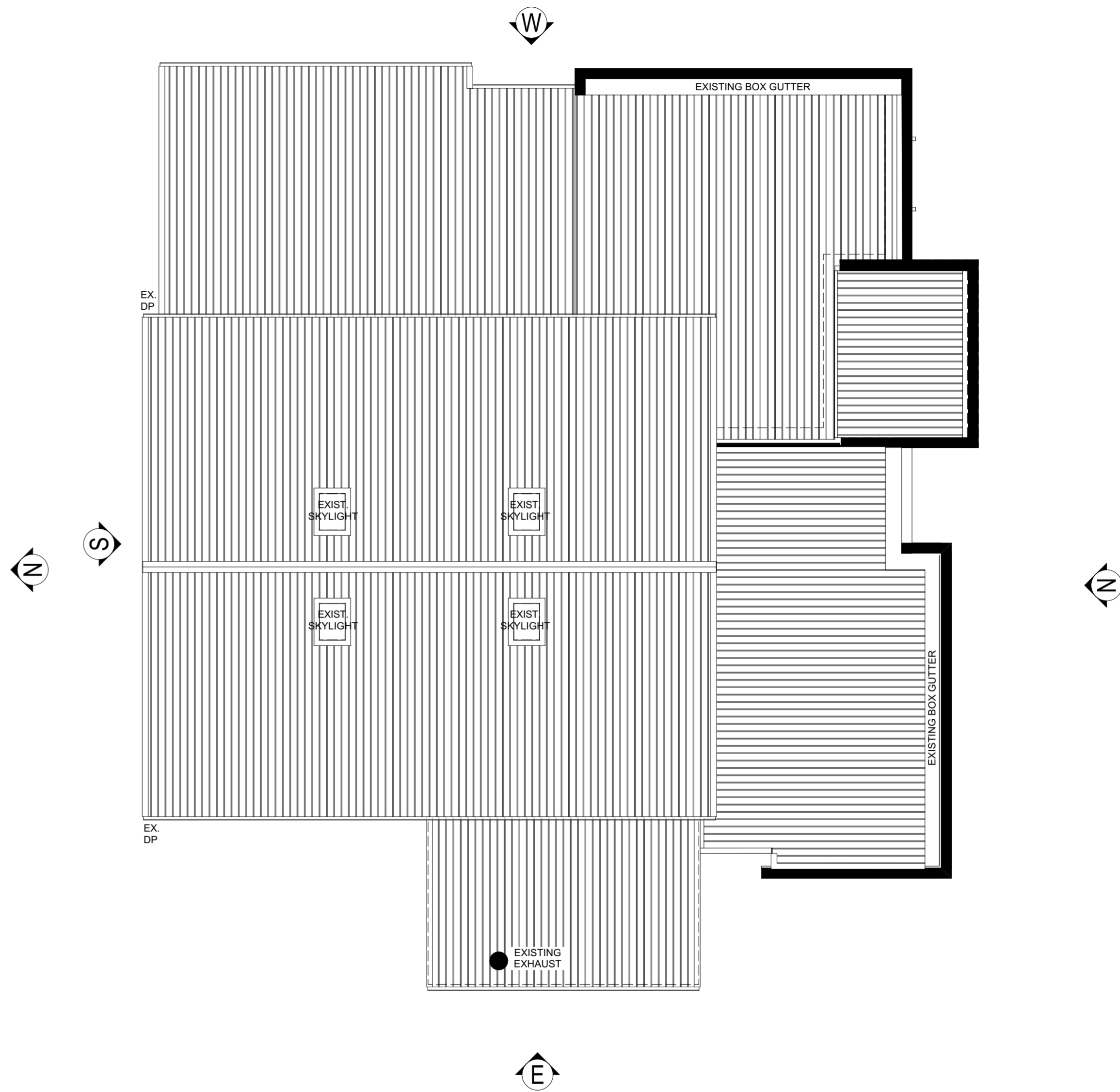
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Page 7 of 12.07 m<sup>2</sup>



Existing Floor Plan  
SCALE 1:100

— DENOTES EXISTING MASONRY WALLS  
- - - DENOTES EXISTING STUD WALLS



Existing Roof Plan  
SCALE 1:100

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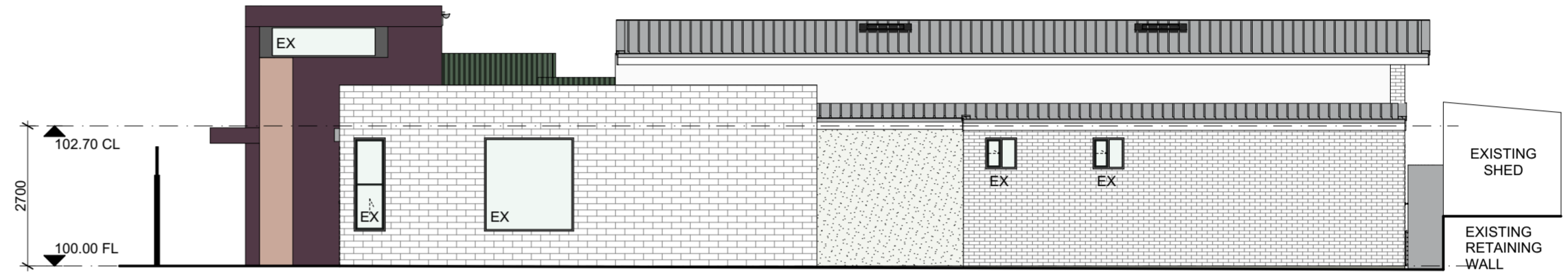
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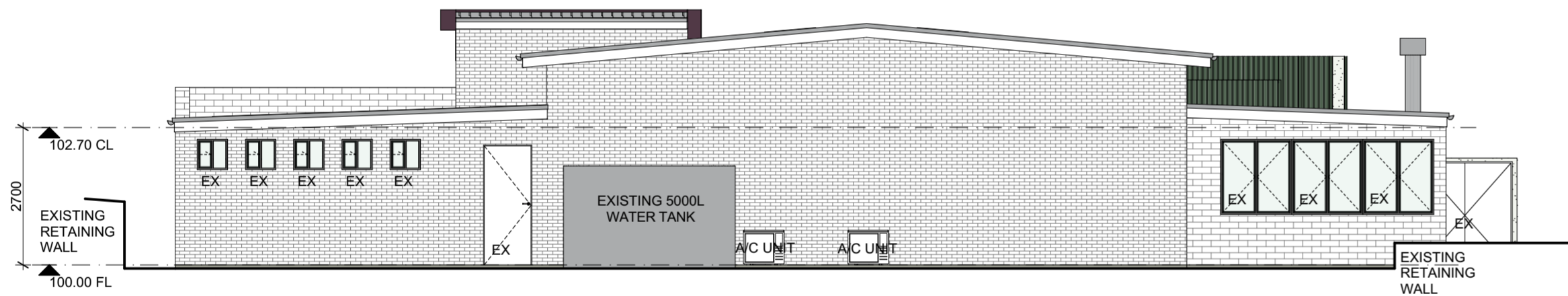




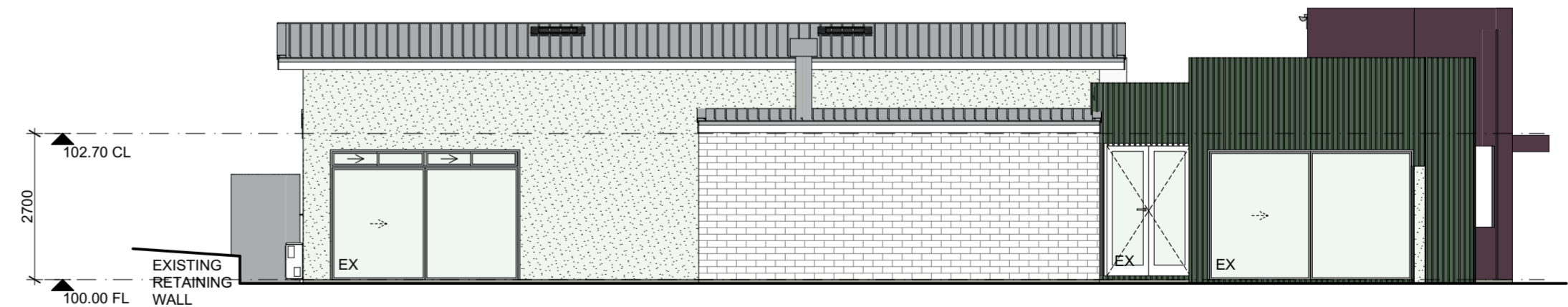
Existing North Elevation  
SCALE 1:100



Existing West Elevation  
SCALE 1:100



Existing South Elevation  
SCALE 1:100



Existing East Elevation  
SCALE 1:100

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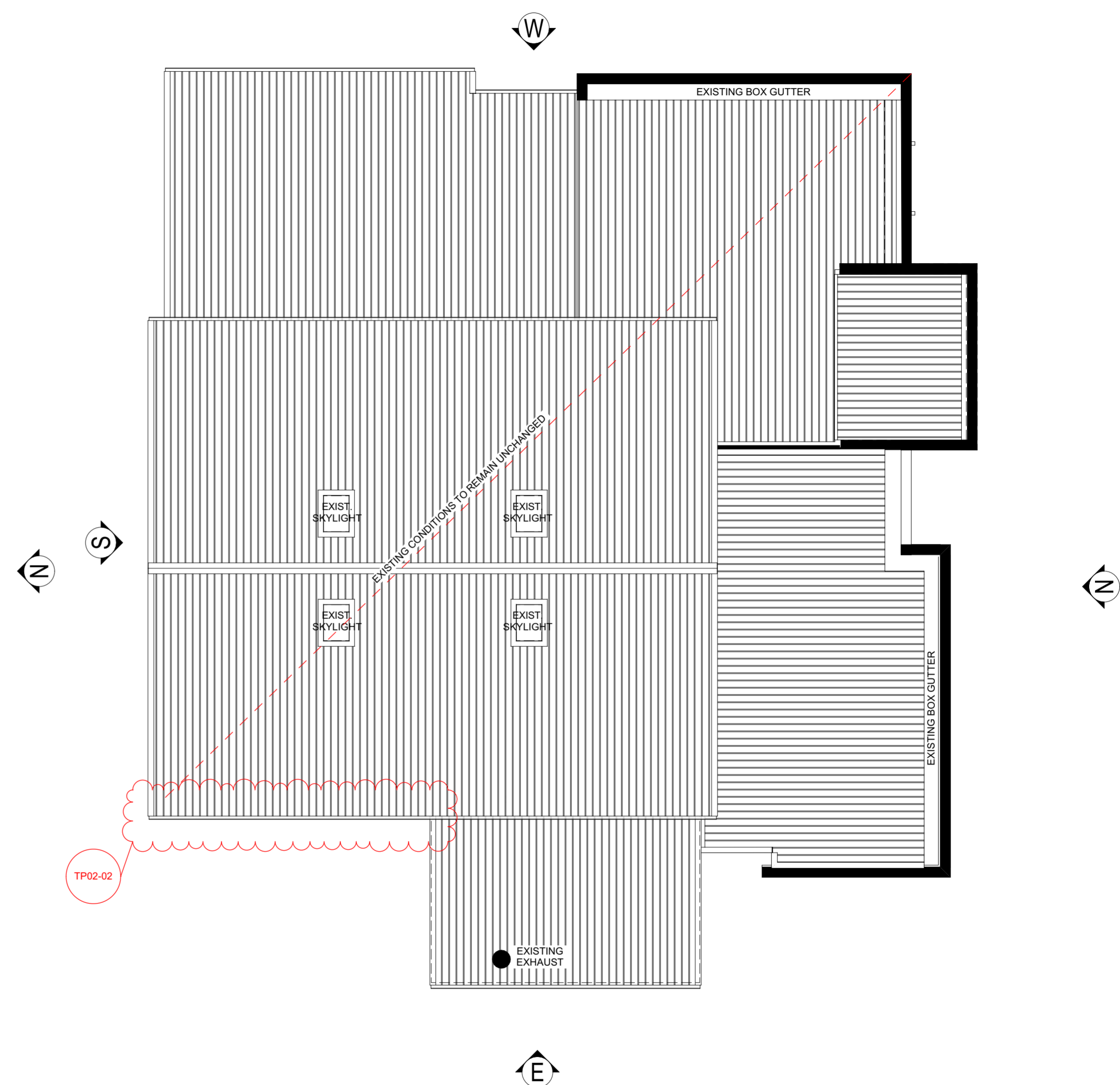
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Demo Floor Plan  
SCALE 1:100

LEGEND	
	FIRE EXTINGUISHER
	EMERGENCY LIGHTING
	EMERGENCY EXITS

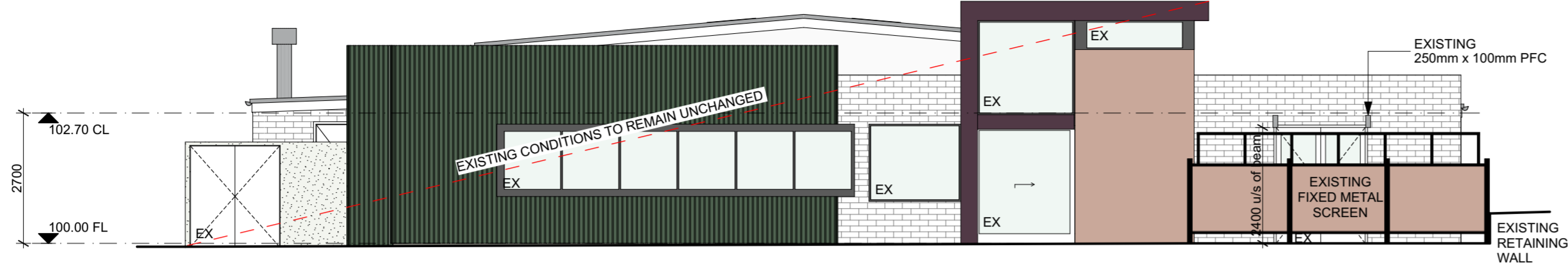
— DENOTES EXISTING MASONRY WALLS  
 - - - DENOTES EXISTING STUD WALLS



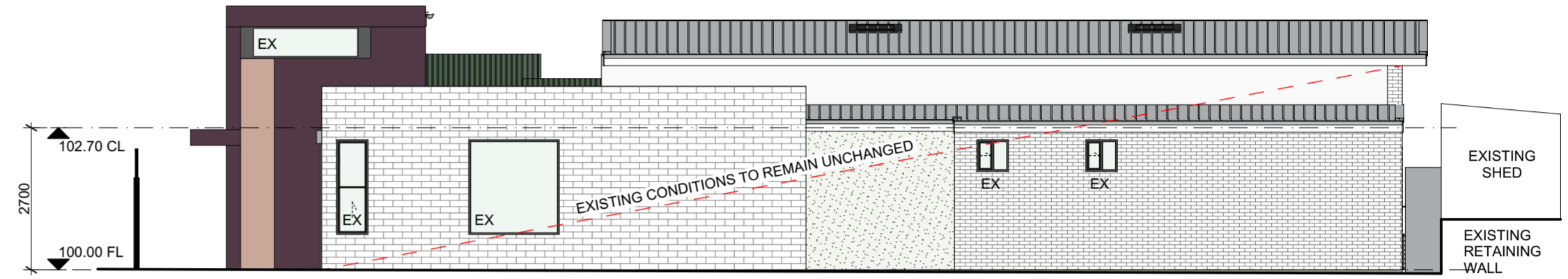
Demo Roof Plan  
SCALE 1:100

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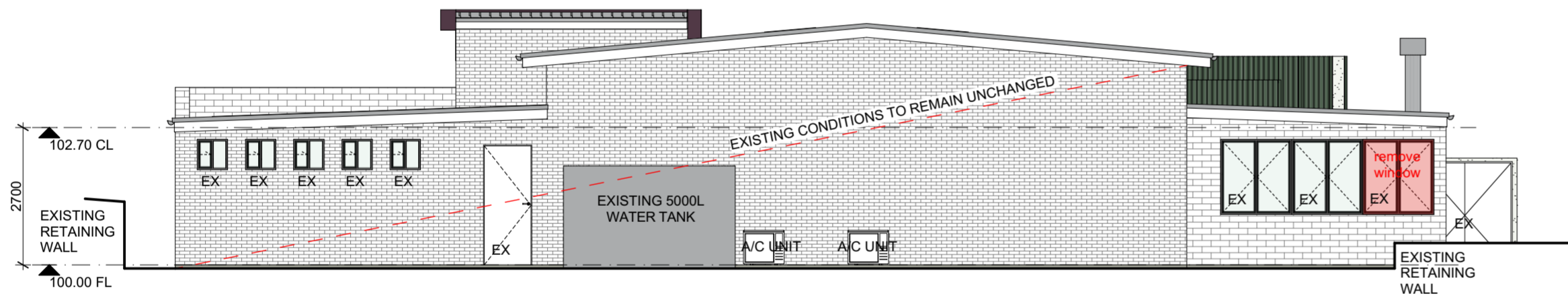
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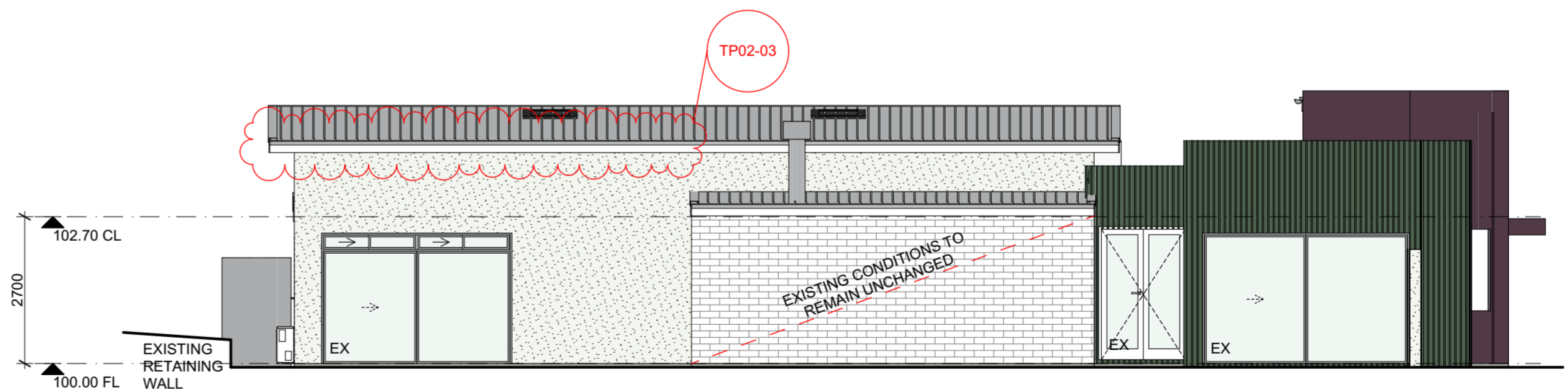
Demo North Elevation  
SCALE 1:100



Demo West Elevation  
SCALE 1:100



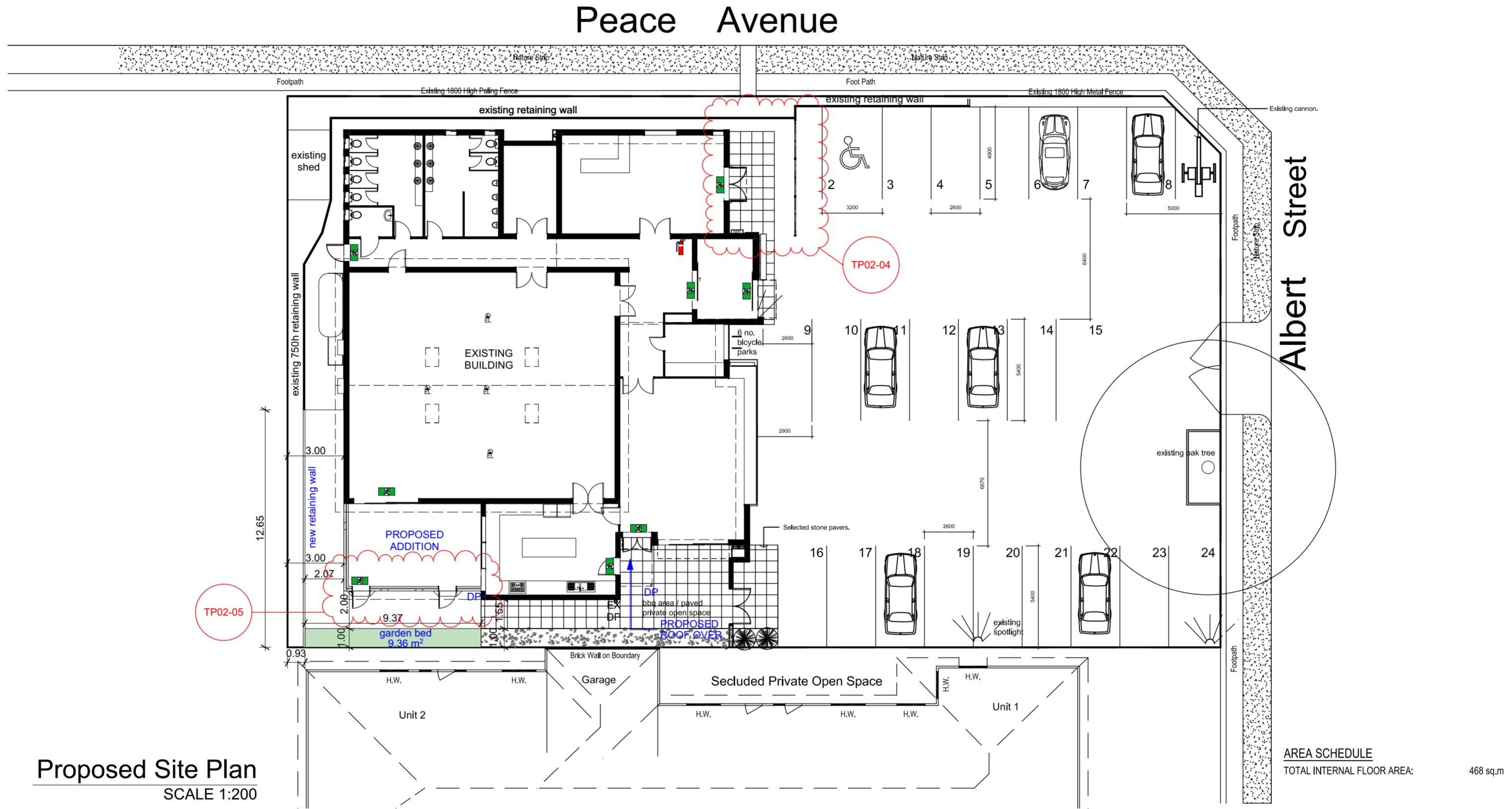
Demo South Elevation  
SCALE 1:100



Demo East Elevation  
SCALE 1:100

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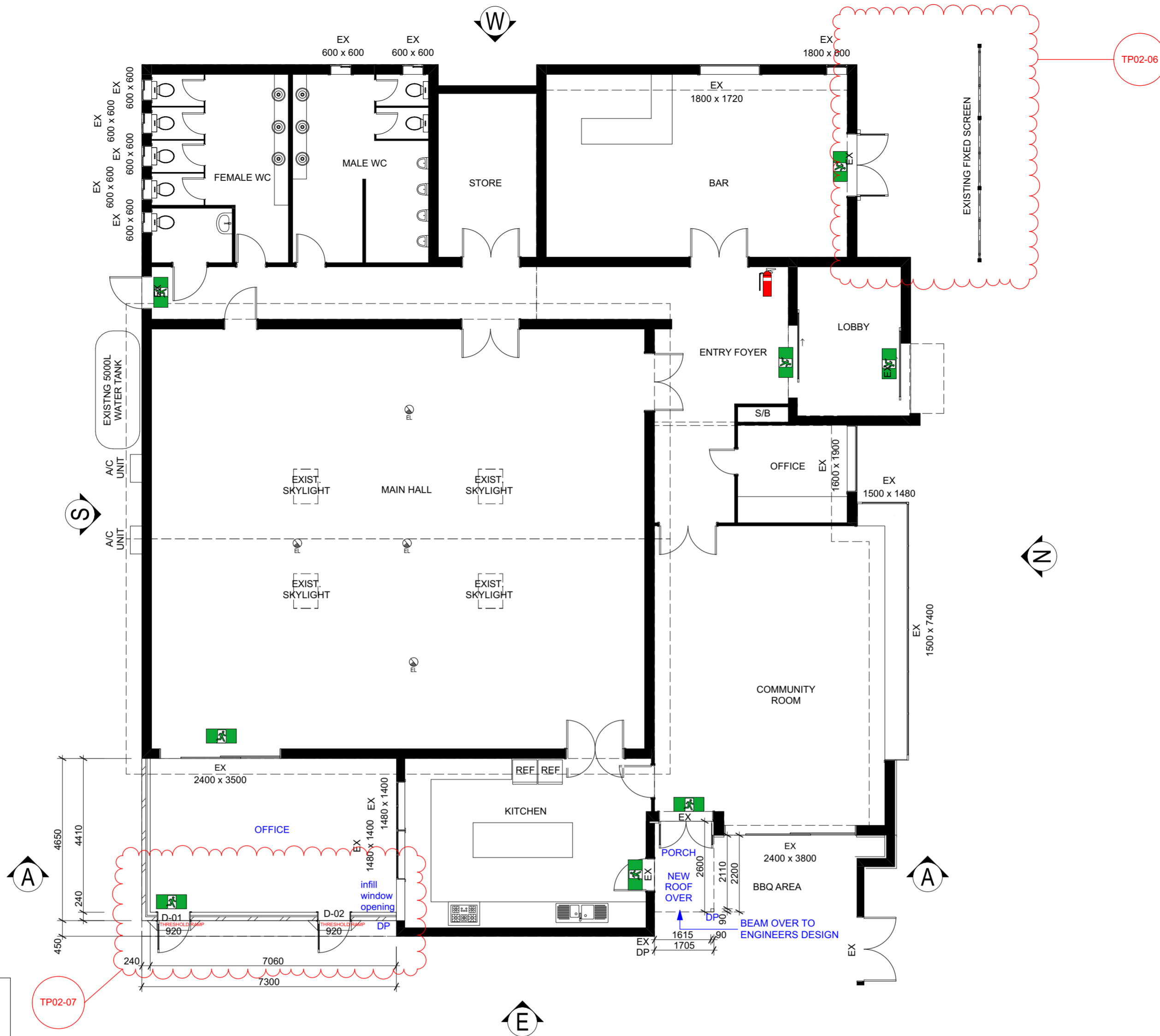


Proposed Site Plan  
SCALE 1:200

AREA SCHEDULE  
TOTAL INTERNAL FLOOR AREA: 468 sq.m

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**LEGEND**

	FIRE EXTINGUISHER
	EMERGENCY LIGHTING
	EMERGENCY EXITS

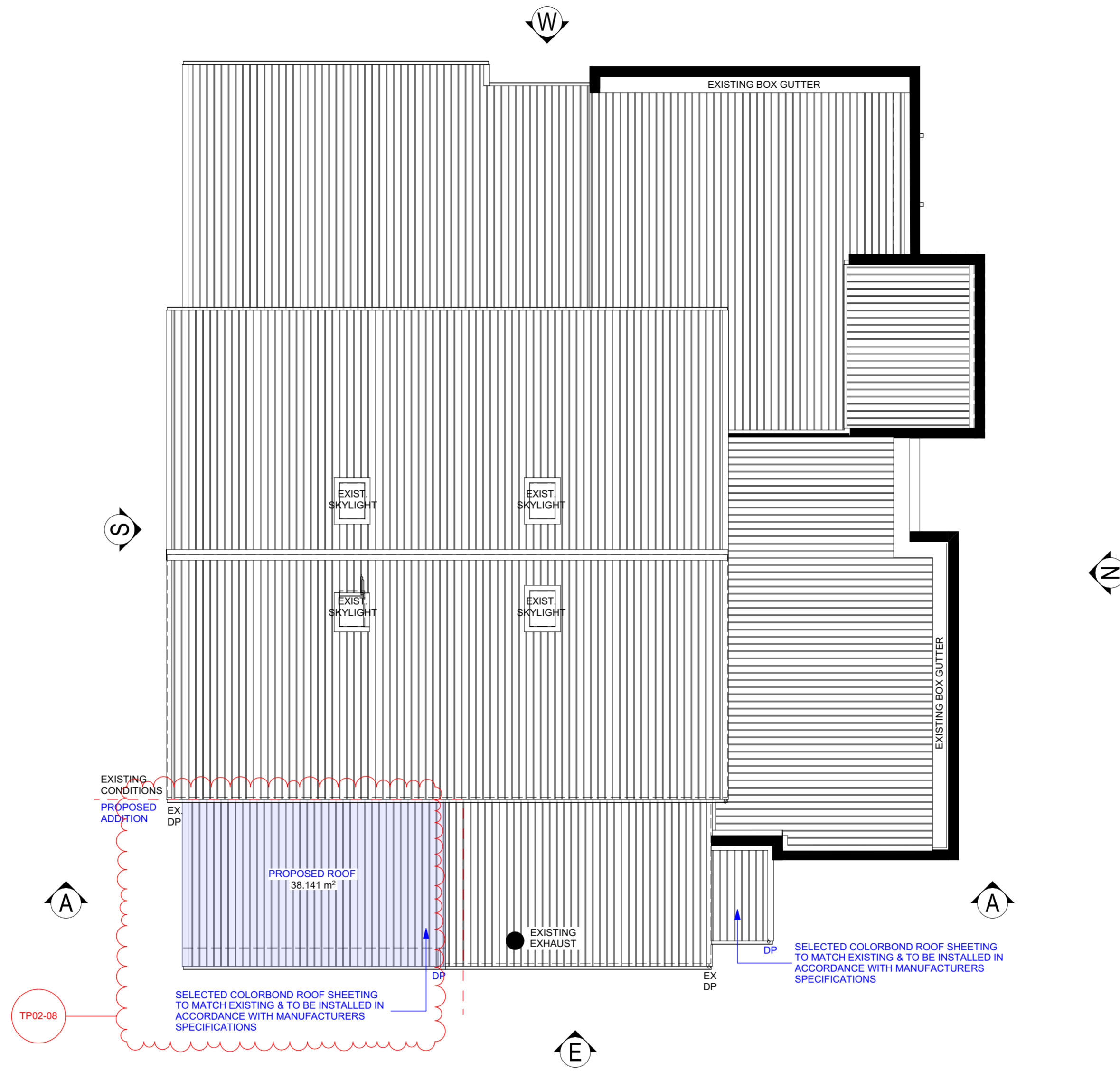
**Proposed Floor Plan**  
SCALE 1:100

DENOTES EXISTING MASONRY WALLS TO REMAIN  
 DENOTES EXISTING STUD WALLS TO REMAIN  
 DENOTES PROPOSED BRICK VENEER WALLS

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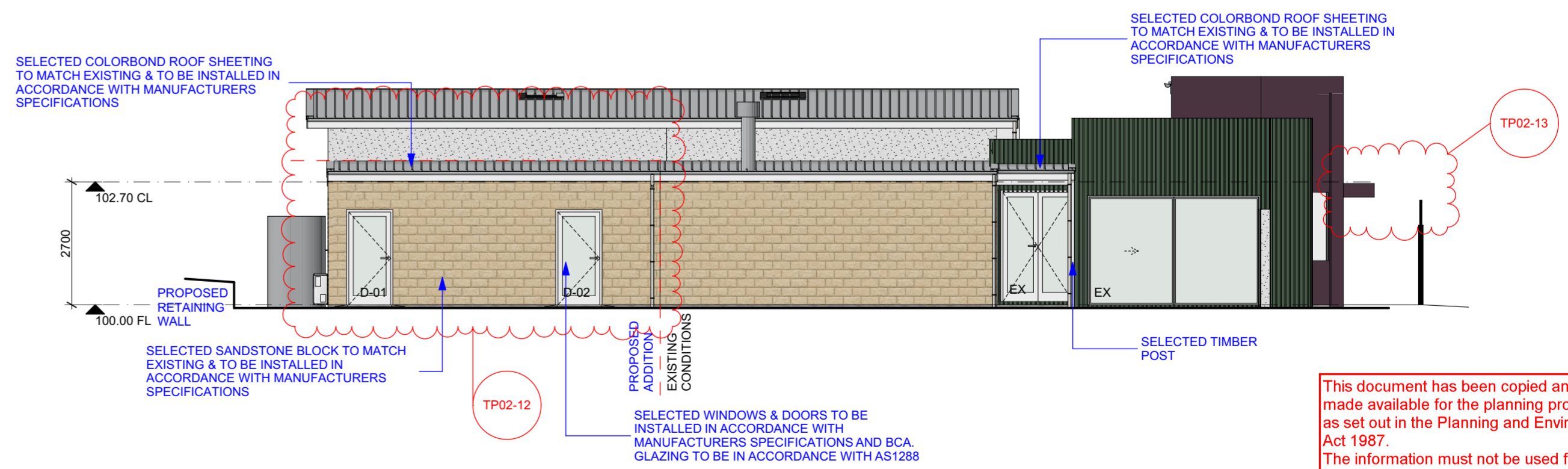
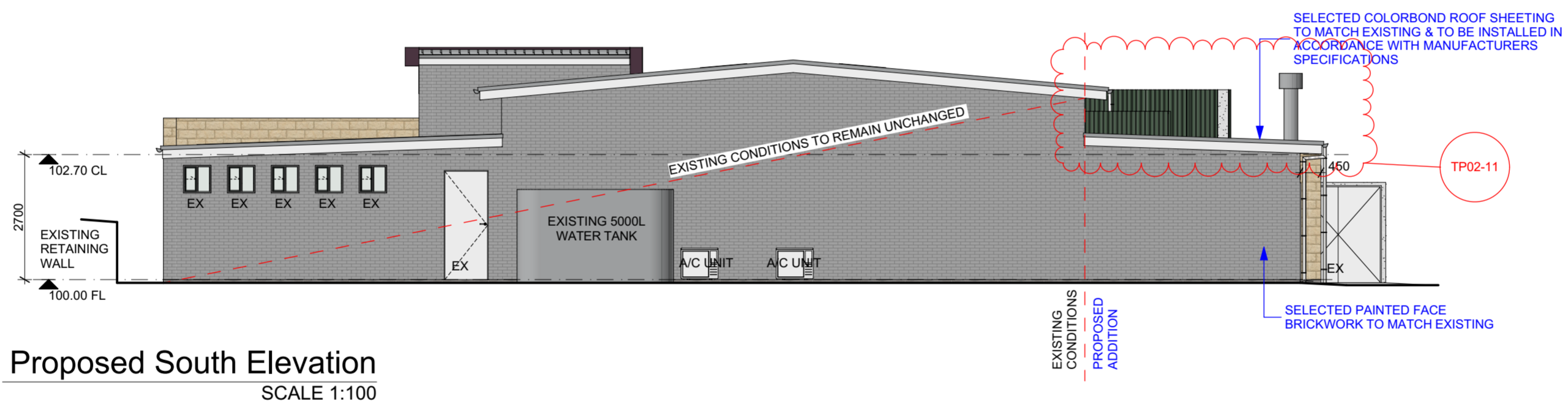
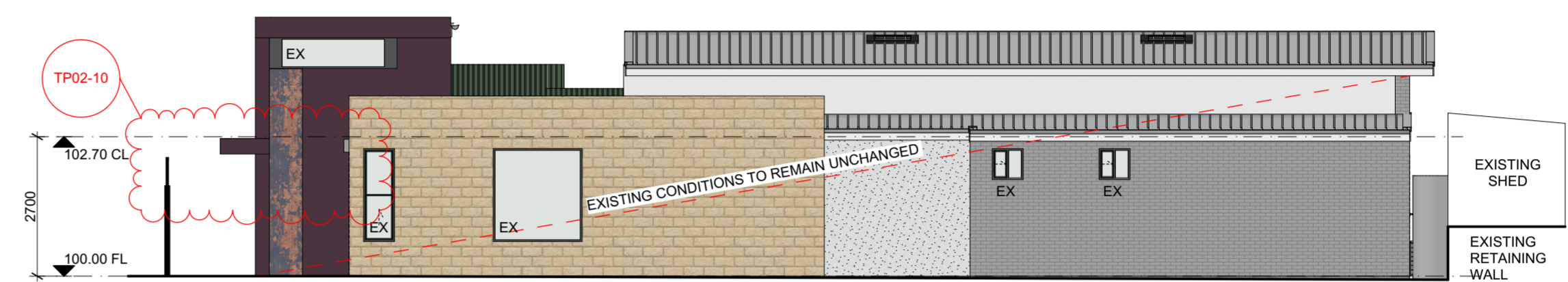
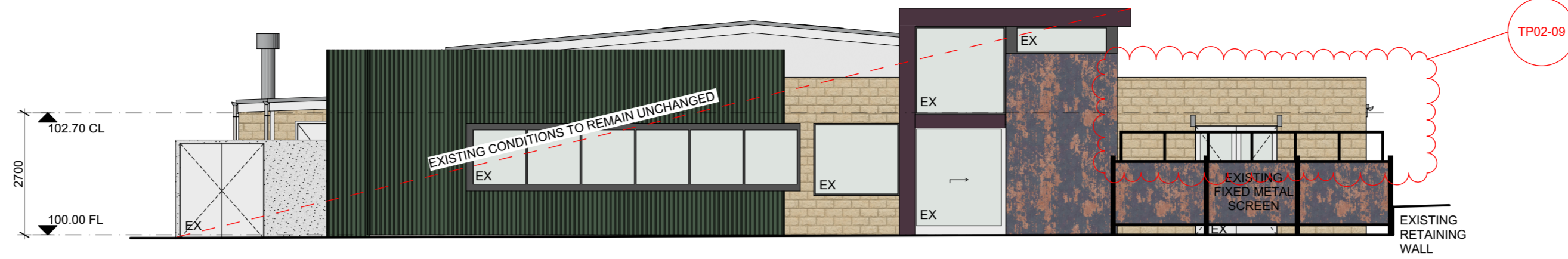


**Proposed Roof Plan**  
SCALE 1:100

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ITEM	PRODUCT DESCRIPTION	PRODUCT IMAGE
ROOF CLADDING	COLORBOND CUSTOMORB COLOUR: MONUMENT (OR SIMILAR) TO MATCH EXISTING	 (OR SIMILAR) TO MATCH EXISTING
EXTERNAL CLADDING	SELECTED PAINTED BRICKS COLOUR: WINDSPRAY (OR SIMILAR) TO MATCH EXISTING	 (OR SIMILAR) TO MATCH EXISTING
EXTERNAL CLADDING	SELECTED SANDSTONE BLOCK: TO MATCH EXISTING	 TO MATCH EXISTING
WINDOW/DOOR FRAMES	ALUMINIUM COLOUR - MONUMENT (OR SIMILAR) TO MATCH EXISTING	 (OR SIMILAR) TO MATCH EXISTING
GUTTER AND DOWNPIPES	COLORBOND COLOUR: MONUMENT (OR SIMILAR) TO MATCH EXISTING	 (OR SIMILAR) TO MATCH EXISTING



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

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VOLUME 09083 FOLIO 882

Security no : 124115049469H  
Produced 17/05/2024 01:17 PM

**LAND DESCRIPTION**

Lots 1 and 2 on Title Plan 874107R (formerly known as part of Lot 4 on Plan of Subdivision 014524, Lot 1 on Plan of Subdivision 068384).

PARENT TITLE Volume 08589 Folio 444

Created by instrument F618861 28/02/1975

**REGISTERED PROPRIETOR**

Estate Fee Simple

AE613246S 19/09/2006

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP874107R FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

DOCUMENT END

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Advertised

<h1>TITLE PLAN</h1>	EDITION 1	<h1>TP 874107R</h1>
<b>LOCATION OF LAND</b> Parish: DROUIN EAST Township: Section: Crown Allotment: Crown Portion:  Last Plan Reference: LP 68384 & LP 14524 Derived From: VOL.9083 FOL.882 Depth Limitation:	<b>Notations</b>          ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	

Description of Land/Easement Information

THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES  
 COMPILED: Date: 4/8/06  
 VERIFIED: A. DALLAS  
*Assistant Registrar of Titles*

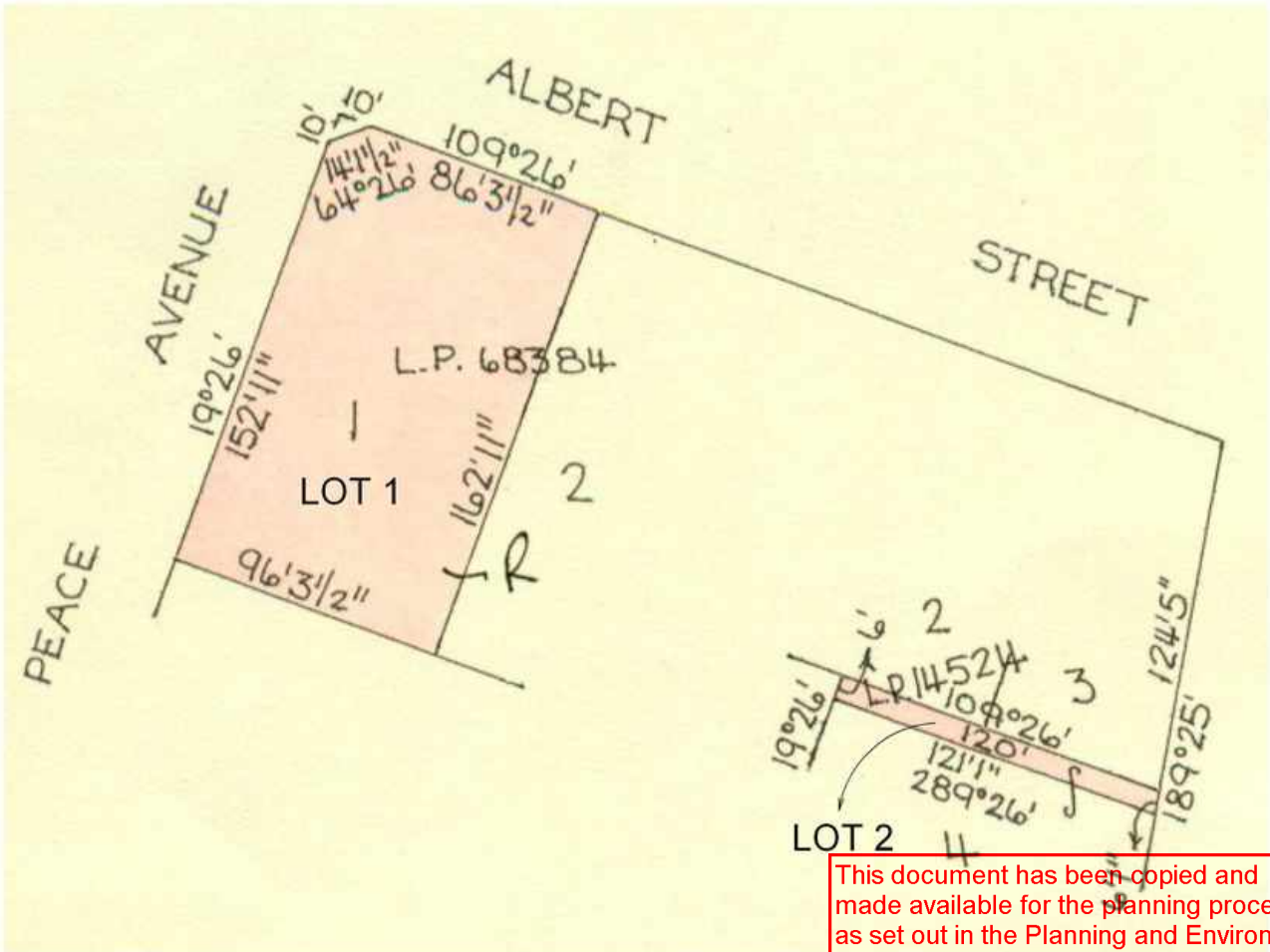


TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1987.
LOT 1 = LOT 1 ON LP 68384 LOT 2 = LOT 4 (PT) ON LP 14524

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