

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 08681 FOLIO 452

Security no : 124114284249T
Produced 18/04/2024 02:17 PM

LAND DESCRIPTION

Lot 26 on Plan of Subdivision 017974.
PARENT TITLE Volume 08546 Folio 327
Created by instrument C824689 10/07/1967

REGISTERED PROPRIETOR

Estate Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP017974 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX858274D (E)	CONV PCT & NOM ECT TO LC	Completed	28/03/2024
AX858734U (E)	DISCHARGE OF MORTGAGE	Registered	28/03/2024
AX858735S (E)	TRANSFER	Registered	28/03/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 CHARLES STREET DROUIN VIC 3818

ADMINISTRATIVE NOTICES

NIL

eCT Control 18602T ELIZABETH ARMYTAGE EINSIEDEL
Effective from 28/03/2024

DOCUMENT END

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PLAN OF SUBDIVISION
OF CROWN ALLOTMENTS 18.19 AND
PART OF CROWN ALLOTMENT 20
SECTION 9
TOWNSHIP OF DROUIN
PARISH OF DROUIN WEST
COUNTY OF BULN BULN

COLOUR CODE
BL=BLUE G=GREEN
BR=BROWN P=PURPLE
Y=YELLOW R=RED
H=HATCH CH=CROSS HATCH

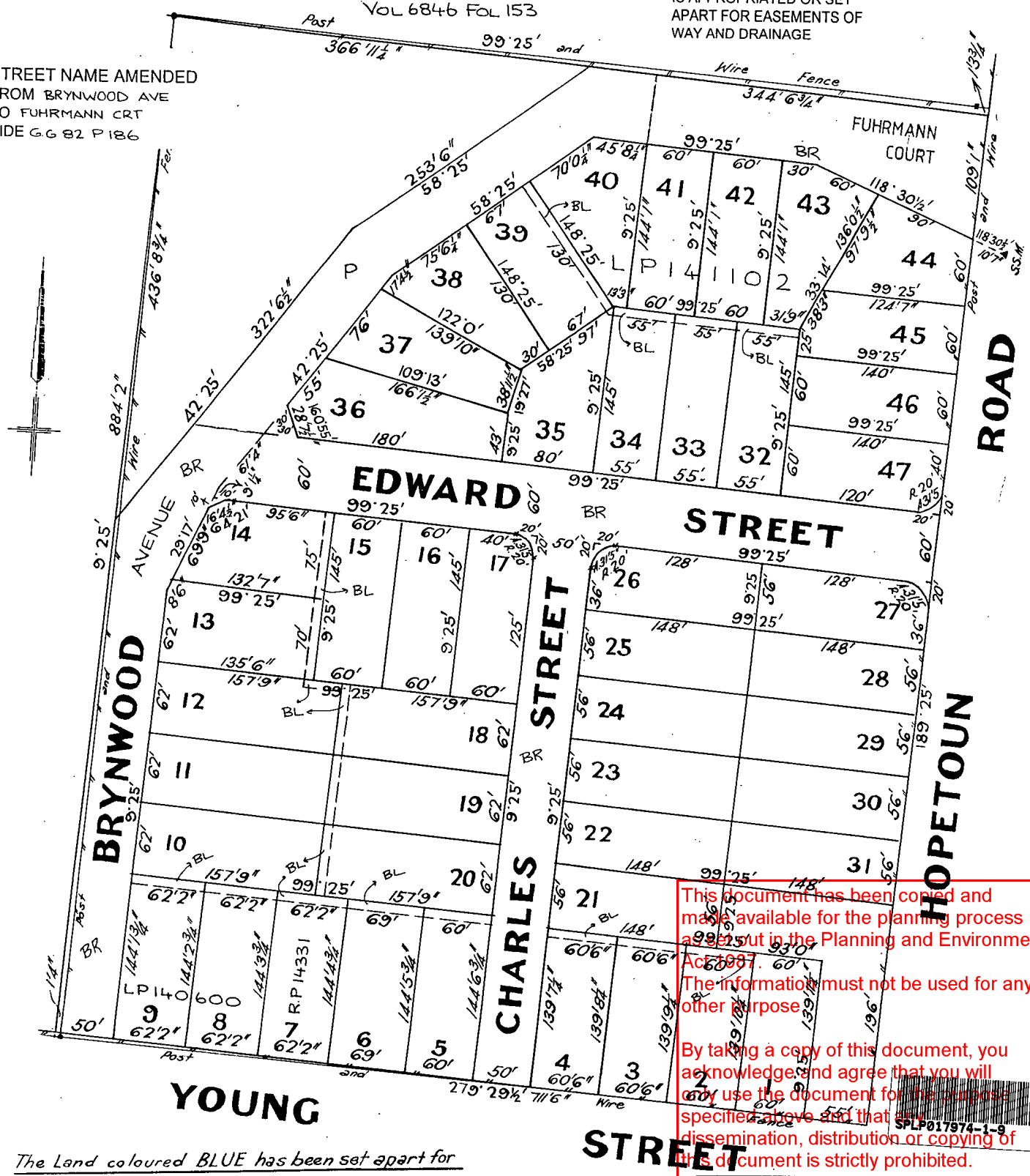
THE LAND COLOURED BLUE & PURPLE
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
DRAINAGE.

Scale 80 Feet to 1 Inch

THE LAND COLOURED BROWN
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
WAY AND DRAINAGE

STREET NAME AMENDED
FROM BRYNWOOD AVE
TO FUHRMANN CRT
VIDE G6 82 P 186

Vol 6846 Fol 153



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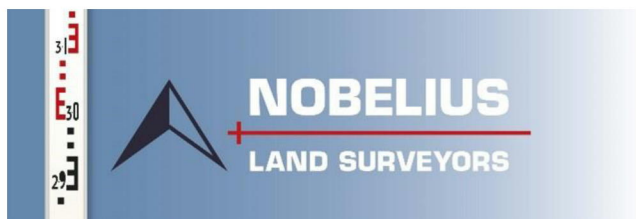
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The Land coloured BLUE has been set apart for Drainage Purposes and is 6 Feet Wide

Page 3 of 51 LIST OF MODIFICATIONS

LAND	MODIFICATION	DEALING No.	A.R.T.	NEW EDN.
ROAD	DISCONTINUED	LGD 5155 27-7-07		





20 Henry Street ABN: 25 006 181 344
PO Box 461 PHONE: 03 5941 4112
Pakenham EMAIL: mail@nobelius.com.au
VIC 3810 WEB: www.nobelius.com.au

16th September, 2024

Nobelius Land Surveyors
20 Henry Street, Pakenham VIC 3820

Attn: ,
Statutory Planner
Baw Baw Shire Council

Dear ,

Application No.: PLA0101/24
Proposal: Two (2) Lot Subdivision
Location: 12 Charles Street DROUIN VIC 3818,
12A Charles Street DROUIN VIC 3818
V8681 F 452 Lot 26 LP 17974 Drouin West Parish

Thank you for your request for further information letter pursuant to Section 54 of the Planning and Environment Act 1987, dated 19th August, 2024.

We wish to respond accordingly:

PLANNING REPORT

- 1. An amended planning report to show:
 - a. Correct local Responsible Authority in page no. 3
 - b. Correct plan of subdivision number prepared by Nobelius Land Surveyors

RESPONSE: The town planning report has been amended to reflect the above.

NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE

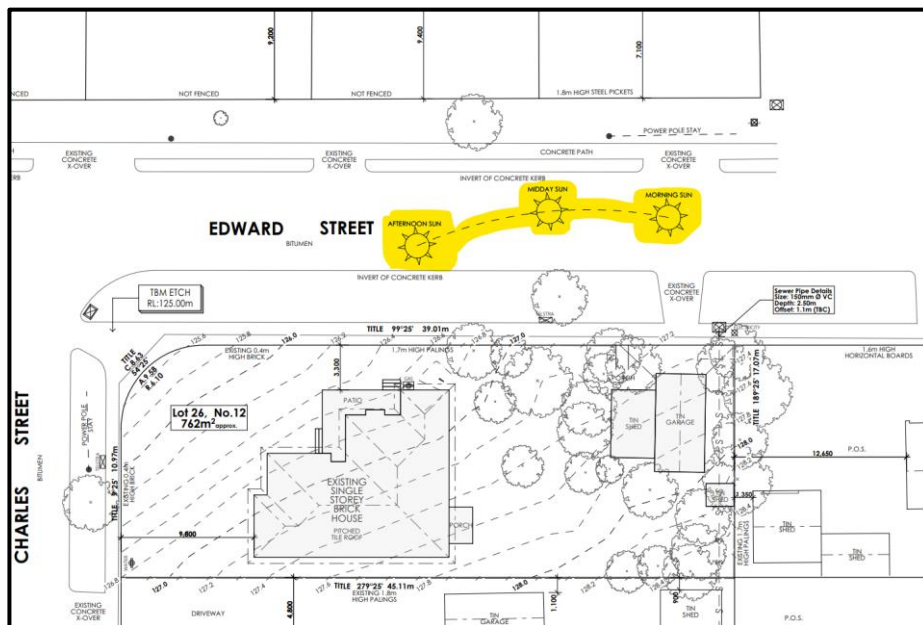
- 2. In relation to the site:
 - a. Solar access to the site and to surrounding properties.

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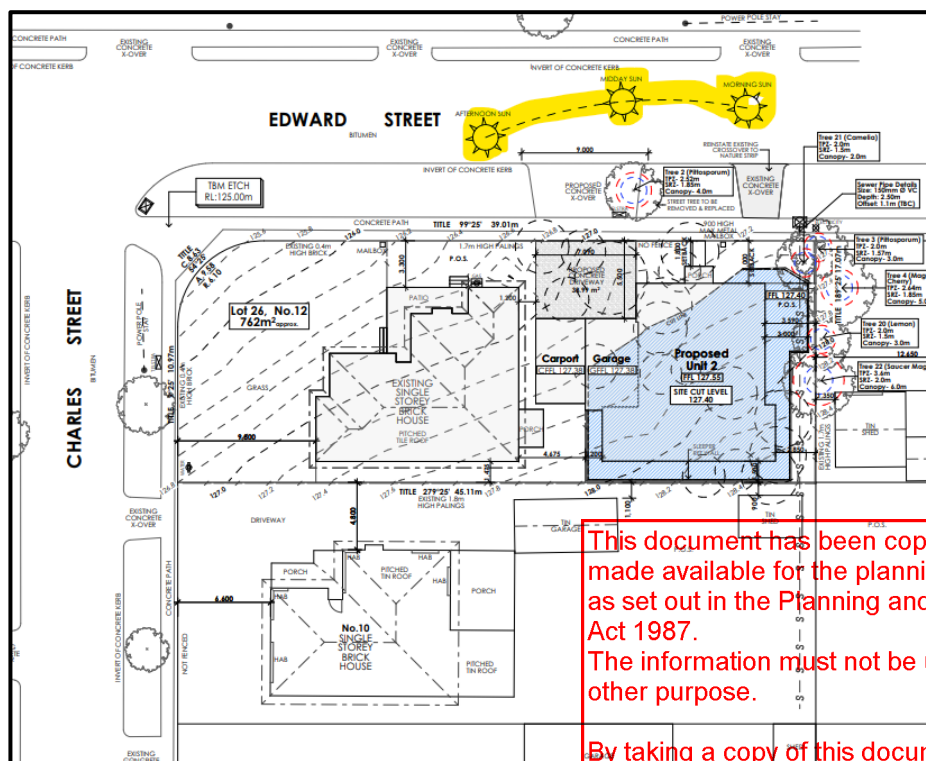
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3. A Design Response to the site analysis explaining how the development's design: Correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings.

RESPONSE: The Design Response Plan (Sheet 3 of 6) and the Site Analysis Plan (Sheet 4 of 6) have been updated to reflect item 2. The Elevations and Overlooking Diagrams Plan (Sheet 5 of 6) has been updated as per item 3.



EXTRACT OF NEIGHBOURHOOD CHARACTER PLAN (SHEET 2 of 6) SHOWING SOLAR ACCESS



EXTRACT OF DESIGN RESPONSE PLAN (SHEET 3 of 6) SHOWING SOLAR ACCESS

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EXTRACT OF ELEVATIONS & OVERLOOKING DIAGRAM PLAN (SHEET 5 of 6) SHOWING STREETScape ELEVATION

AMENDED PLANS REQUIRED

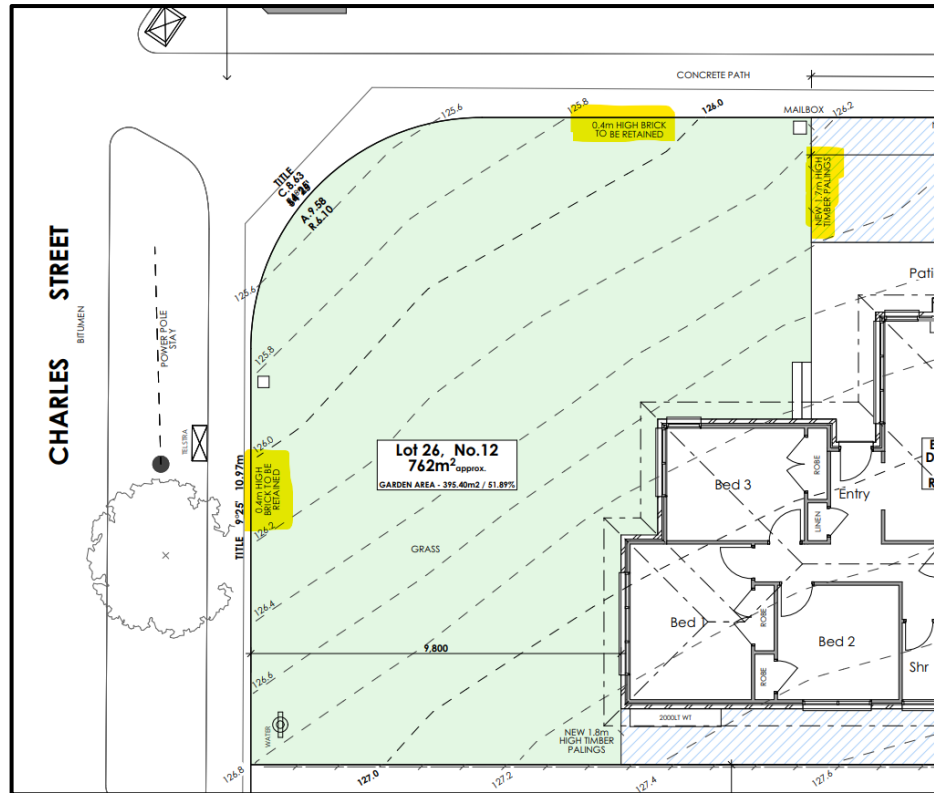
INFORMATION REQUIRED IN RELATION TO THE SITE ANALYSIS PLAN

4. An amended planning report to show:
 - a. Any existing easements (including the asset type, depth and size). As per the title plan provided, there are no existing encumbering easements.
 - b. Existing buildings and structures to be retained.
 - i. Please annotate if the existing 0.4m high brick fence is to be retained along the northern boundary at Dwelling 1. The Site Analysis Plan (Sheet 4 of 6) has been updated as per item 4(b)(i):

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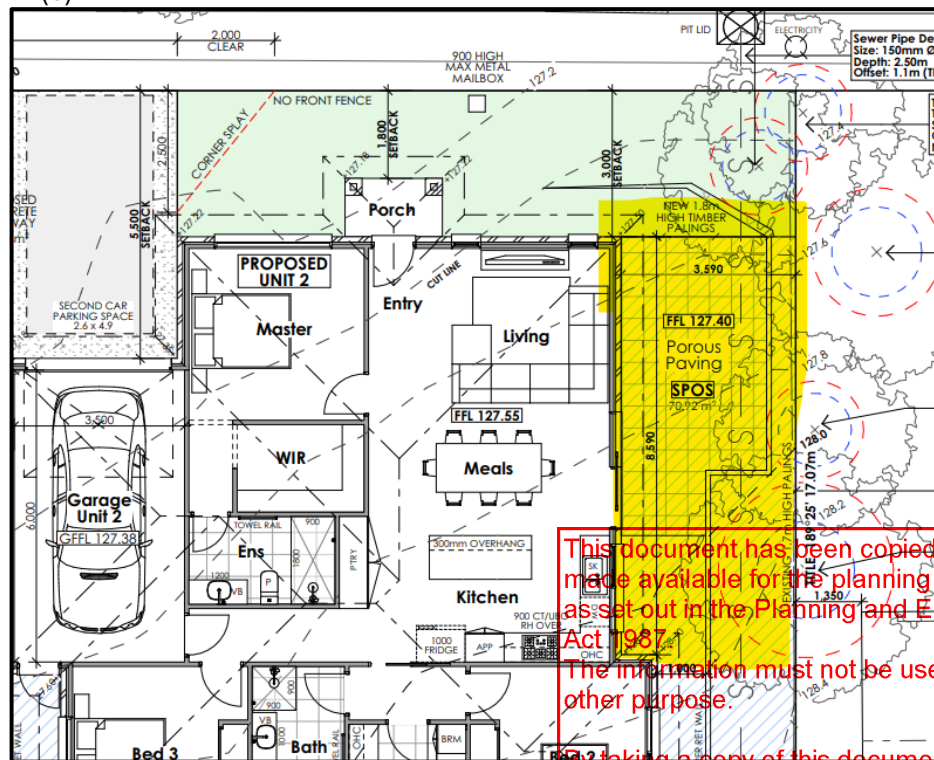
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EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 of 6) WITH NOTATIONS RE:
RETENTION/REMOVAL OF EXISTING 0.4m HIGH BRICK FENCE

- c. Clearly dimensioned (width and length) of proposed secluded private open space to the proposed dwelling. The Site Analysis Plan (Sheet 4 of 6) has been updated as per item 4(c):

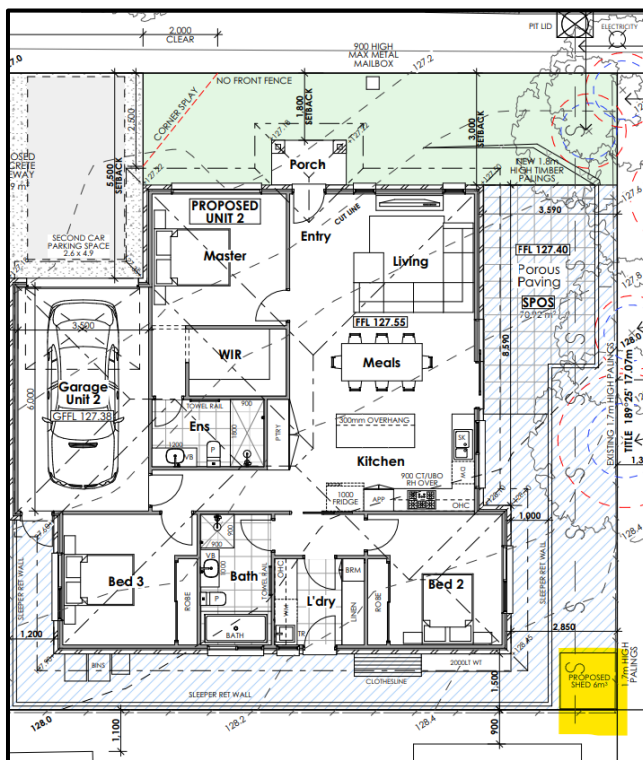


EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 of 6) WITH DIMENSIONED SPOS FOR PROPOSED DWELLING

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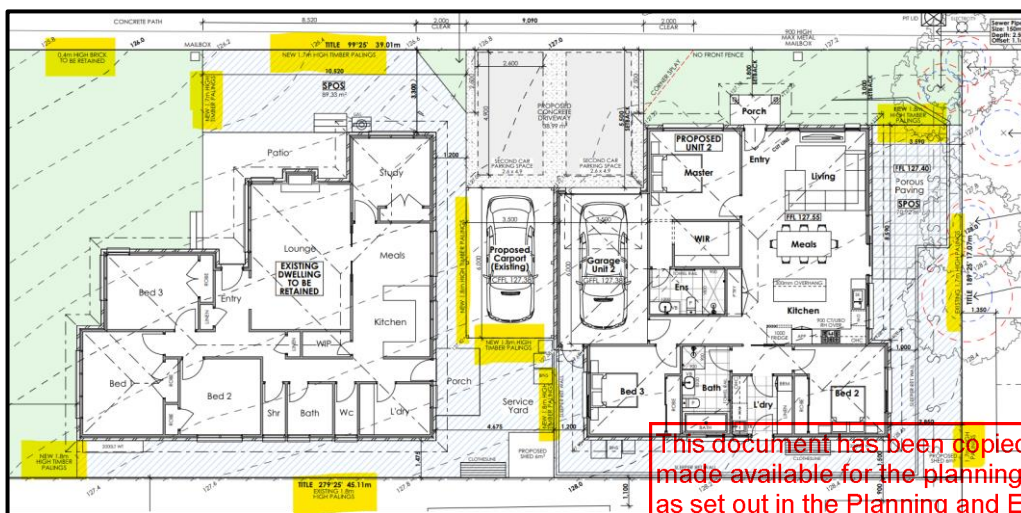
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- d. The provision of 6 cubic metres of externally accessible storage within the proposed Unit 2.



EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 of 6) WITH 6m³ STORAGE PROVIDED TO PROPOSED DWELLING IN FORM OF GARDEN SHED

- e. Location, materials and height of all boundaries and any internal fences (with a statement as to whether these are existing or proposed). The Site Analysis Plan (Sheet 4 of 6) has been updated to reflect item 4(e):

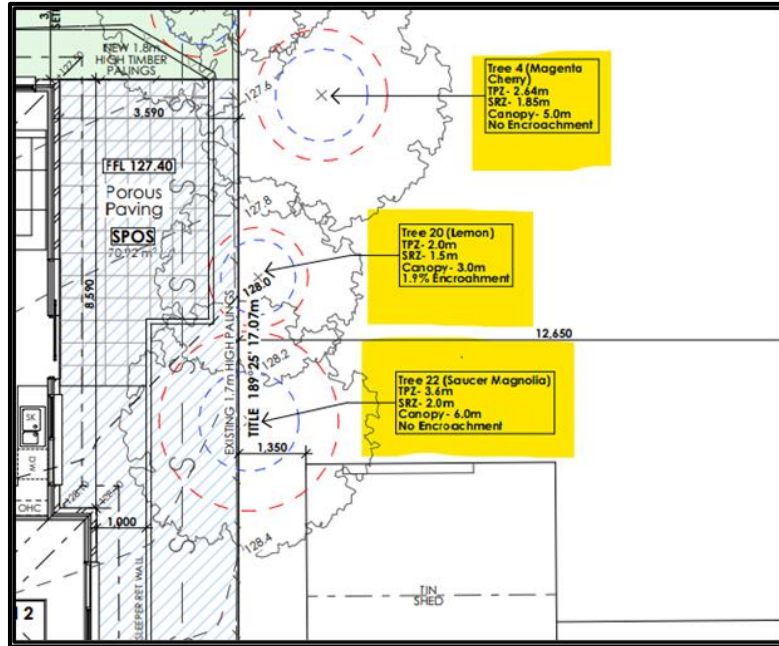


EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 OF 6) IDENTIFYING PROPOSED/EXISTING INTERNAL FENCE TREATMENTS

- f. Percentage of encroachment of proposed Unit 2 into the Tree Protection Zones of Tree 4, Tree 20 and Tree 22. The Site Analysis Plan (Sheet 4 of 6) has been updated to reflect 4(f), noting that Tree 4, 20 and 22 all experience minor TPZ encroachment impacts that are allowable under AS4970-2009.

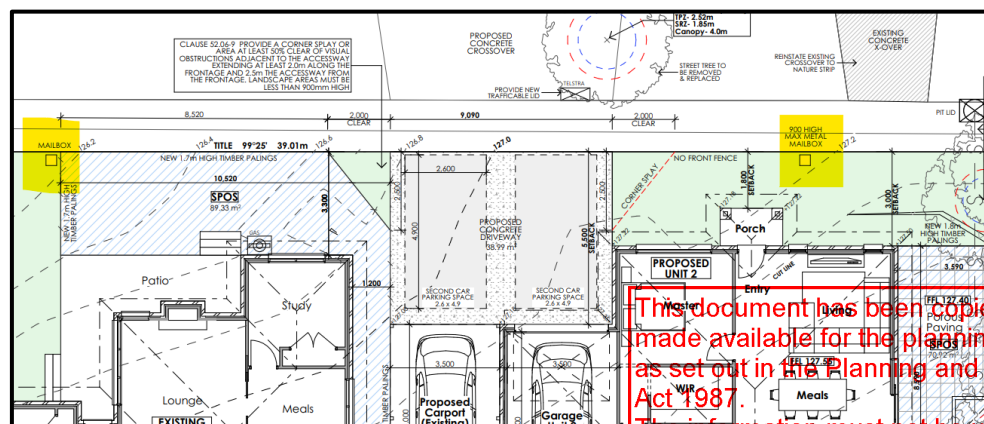
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EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 OF 6) WITH NOTATED TPZ ENCROACHMENT IMPACTS TO TREE 4, 20 & 22

- g. Levels of the site through nominated spot levels at the corner of all proposed buildings and contours along the length of the site to AHD. The Site Analysis Plan (Sheet 4 of 6) has been updated to reflect 4(g).
- h. Finished site levels (particularly in private open space areas to AHD). The Site Analysis Plan (Sheet 4 of 6) has been updated to reflect 4(h).
- i. A plan reference name (e.g. site layout plan), reference number, version number, date of version and version update details including date and reason for update. The title bar includes all information requested as part of 5(i).
- j. Location of proposed mailbox details including height and materials finishes. The mailbox locations are shown on the Site Analysis Plan (Sheet 4 of 6) and will be colorbond metal material and 900mm high:



EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 OF 6) WITH MAILBOX DETAILS

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INFORMATION REQUIRED IN RELATION TO THE ELEVATION PLANS

5. Amended Elevation and Overlooking diagrams plans to show:
 - a. East elevation of Existing dwelling on the site.
 - b. Wall height from natural and finished ground level (for each building elevation).
 - c. Overall building height from natural and finished ground level.
 - d. Dimensions from natural ground level to the proposed finished floor levels.
 - e. Boundary fencing height outlined on each elevation consistent with the site analysis plan.
 - f. Details and elevation drawings of proposed front fencing (if any).
 - g. The depth of any proposed cut and/or fill (including retaining walls).
 - h. The sill height of any proposed raised sill or highlight windows dimensioned from the relevant floor level.
 - i. Elevations to be in full colour with a schedule of materials and colours detailed.
 - j. A plan reference name, reference number, version number, date of version and version update details including date and reason for update.
 - k. A streetscape elevation drawing showing the proposed building/s in context of the adjacent buildings (streetscape plan).

RESPONSE: The Elevations and Overlooking Diagrams Plan (Sheet 5 of 6) has been updated to address items 5 (a) to (k).

MATERIAL SCHEDULE

6. A Schedule of Materials and Finishes to be provided depicting external finishes and colours including all external walls, roof, fascias, window frames and external doors and paving surface finishes (including car park surfacing). The schedule must include colour swatches and detail whether surface finishes are permeable or impermeable.

RESPONSE: The Elevations and Overlooking Diagrams Plan (Sheet 5 of 6) has been updated to address item 6. Please see extract below:

COLOUR SCHEDULE	
	BRICKS - BRICKWORKS 'HOMESTEAD MUSHROOM'
	COLORBOND ROOF 'WOODLAND GREY'
	GARAGE DOOR/ GUTTERS/ FASCIA/ DOWNPIPES - COLORBOND 'WOODLAND GREY'
	ALUMINIUM WINDOWS 'SURFMIST'
	CONCRETE DRIVEWAY 'PLAIN'
	RENDERED PIERS / POSTS / MAILBOX 'WOODLAND GREY'

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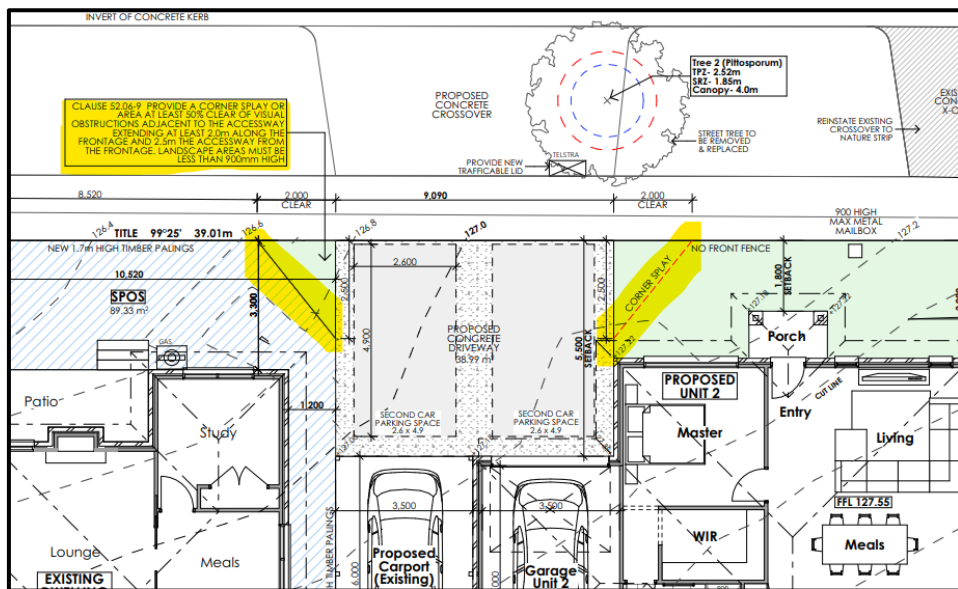
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CAR PARKING, ACCESS AND TRAFFIC

- 7. An amended site analysis plan to show:
 - a. In accordance with Clause 52.06-9, provision of a corner splay or area at least 50 per cent clear of visual obstructions adjacent to the accessway, extending at least 2 metres along the frontage from the edge of an exit lane and 2.5 metres along the accessway from the frontage, to provide a clear view of pedestrian on the footpath. The area clear of visual obstructions may include an adjacent entry or exit land where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.

RESPONSE: Corner splay details have been added to the Site Analysis Plan (Sheet 4 of 6) to address item 6(a):



EXTRACT OF SITE ANALYSIS PLAN (SHEET 4 of 6) DETAILING CORNER SPLAY REQUIREMENT

DESIGN CONCERNS

NEIGHBOURHOOD AND SITE DESCRIPTION

Pursuant to Clause 55.01-1 the application needs to demonstrate how the development responds to the neighbourhood character of the area appropriately, streetscape elevations are most helpful to demonstrate how the proposed development responds to relevant neighbourhood character elements.

RESPONSE: The feature survey plan, town planning report and site analysis plan all include detailed information relating to the site surrounds, including the height, scale, materials, roof types, spacing and rhythm of built form, existing pattern of subdivision, street furniture etc. A streetscape elevation is provided on the Elevations & Overlooking Diagrams Plan (Sheet 5 of 6) which demonstrates that the proposed second dwelling is complementary to and has taken design cues from existing built form in terms of height, materials, scale, roof type and form. As such, we submit that the proposed second dwelling will satisfactorily

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integrate within the existing streetscape and will not result in any adverse impacts to neighbourhood character.

PRIVATE OPEN SPACE OBJECTIVE

- *Standard B28 requires that a dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone. Upon a preliminary assessment of the Development Plan, it is difficult to determine what is Private Open Space and Secluded Private Open Space.*
- *Pursuant to Clause 55.5-4 private area open space consists of:*
- *An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room.*

RESPONSE: The Site Analysis Plan (Sheet 4 of 6) clearly identifies any areas of POS for both dwellings in a hatched light blue colour, with areas of SPOS dimensioned. The POS and SPOS comply with Clause 55.5-4.

INTERNAL AND EXTERNAL REFERRALS

Please note Council has referred the application to the applicable internal and external referral agencies for comment. At the time of sending this correspondence, comments have not been received by Planning Officers. This may result in the need of further clarification on matters or documentation which has not been requested in this letter. If any such matter arises, I will advise accordingly.

RESPONSE: Noted.

WORKS WITHIN 1M OF AN EASEMENT

The proposed development is proposed close to the existing sewer pipe along the Eastern boundary of the site and proposed new retaining wall is over the sewer pipe. Consent from the relevant authorities should be sought in regard to your proposal.

RESPONSE: No encumbering easements are present on the subject land. We anticipate that an easement will be required 1m either side of the existing sewer infrastructure and this will be addressed post-permit (should a permit be granted).

The following documents are provided in support of this response:

- Amended Town Planning Report (NLS)
- Amended Development Plans (JDesign)

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Should you require any additional information or wish to discuss the above submitted response, please do not hesitate to contact me. Providing the above response is satisfactory, we look forward to progressing to advertising.

Warm Regards,

Town Planner

Nobelius Land Surveyors

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TOWN PLANNING REPORT

Two (2) Lot Subdivision & Development of Second Dwelling

12 Charles Street, Drouin



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PROPOSED BY:
NOBELIUS LAND SURVEYORS
20 Henry Street, Pakenham, VIC 3810

(03) 5941 4112
www.nobelius.com.au

NOBELIUS
LAND SURVEYORS

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1. PRELIMINARY

ADDRESS	Lot 26 LP17974, 12 Charles Street, Drouin
AREA	762m ²
RESPONSIBLE AUTHORITY	Baw Baw Shire Council
ZONE	General Residential Zone - Schedule 1 (GRZ1)
OVERLAY	Development Contributions Plan Overlay - Schedule 1
BUSHFIRE PRONE AREA	NA
CULTURAL HERITAGE	NA
EASEMENTS, RESTRICTIONS, ENCUMBRANCES	NA

PROPOSAL	Two (2) Lot Subdivision & The Development of a Second Dwelling			
PERMIT TRIGGERS	<p>Clause 32.08-3 Subdivision, a permit is required to subdivide land.</p> <p>Clause 32.08-7 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, a permit is required to construct a dwelling if there is at least one dwelling existing on the lot.</p>			
RELEVANT PLANNING CONTROLS AND INCORPORATED DOCUMENTS	<p>11.01-1S Settlement</p> <p>11.01-1L-01 Growth in Baw Baw</p> <p>11.01-1L-02 Main Towns - High Growth</p> <p>11.02-1S Supply of urban land</p> <p>15.01-3S Subdivision design</p> <p>15.01-5S Neighbourhood character</p> <p>16.02-2S Housing supply</p> <p>32.08 General Residential Zone</p> <p>45.06 Development Contributions Play Overlay</p> <p>56 Residential Subdivision</p> <p>65 Decision Guidelines</p>			
SUBMITTED DOCUMENTS	<p>Current copy of title and plan</p> <p>Survey plan prepared by Nobelius Land Surveyors</p> <p>Concept plan prepared by Nobelius Land Surveyors</p> <p>Proposed Plan of Subdivision PS 921902W</p>			
NLS QUALITY SYSTEM	AUTHOR	DATE ISSUED	CHECKED BY	REVISION
	RO	11/09/2024	JB	3

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2. INTRODUCTION

This town planning report has been prepared by Nobelius Land Surveyors on behalf of the landowner to support an application to subdivide the land into two lots and develop a second dwelling at 12 Charles Street, Drouin (Lot 26 LP17974).

The land is zoned General Residential Zone – Schedule 1 in the Baw Baw Planning Scheme and subject to the Development Contributions Plan Overlay – Schedule 1. The land is improved with a single detached dwelling which is proposed to be retained as part of the development of the site.

The purpose of this report is to assess the proposal against the relevant provisions of the Baw Baw Planning Scheme and State and Local Planning Policy Framework. This report will demonstrate that the proposal is an appropriate planning outcome when having regard for the following:

- The proposal helps to give effect to the relevant policies, objectives and strategies contained in the State and Local Planning Policy Framework;
- The proposal is consistent with the purpose and decision guidelines of the zone;
- The proposal will satisfactorily integrate with the existing subdivision pattern and complements surrounding land use and development; and
- The proposal meets the relevant objectives and standards of Clauses 55 & 56 (ResCode).

This report should be read in conjunction with the following documents:

- Current copy of title and plan and instrument
- Feature survey prepared by Nobelius Land Surveyors
- Proposed Plan of Subdivision PS921962W prepared by Nobelius Land Surveyors
- Development Plans prepared by JDesign
- Arboricultural Assessment prepared by ArbKey

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3. SUBJECT SITE AND SURROUNDING LOCALITY

SITE ANALYSIS

The subject land is formally described as Lot 26 LP17974 Vol 08681 Fol 452 with a street address of 12 Charles Street, Drouin. The subject site is a corner allotment of 762m² fronting Charles Street to the west for 10.97m (with arc of 9.58m), and side frontage of 39.01m to Edward Street to the north. The land is developed with a single detached dwelling of brick construction, with a tiled hipped roof and small associated outbuildings. The front setback features a low brick fence and ornamental low-mid height vegetation contained within a garden setting, with the balance being lawn. The site gradually slopes from the south-east to the north-west 3.09 metres over approximately 46 metres (a slope of 3.8 degrees (6.7 per cent)).



AERIAL IMAGE IDENTIFYING THE TWO LOTS (METROMAP, FEB 4, 2024)

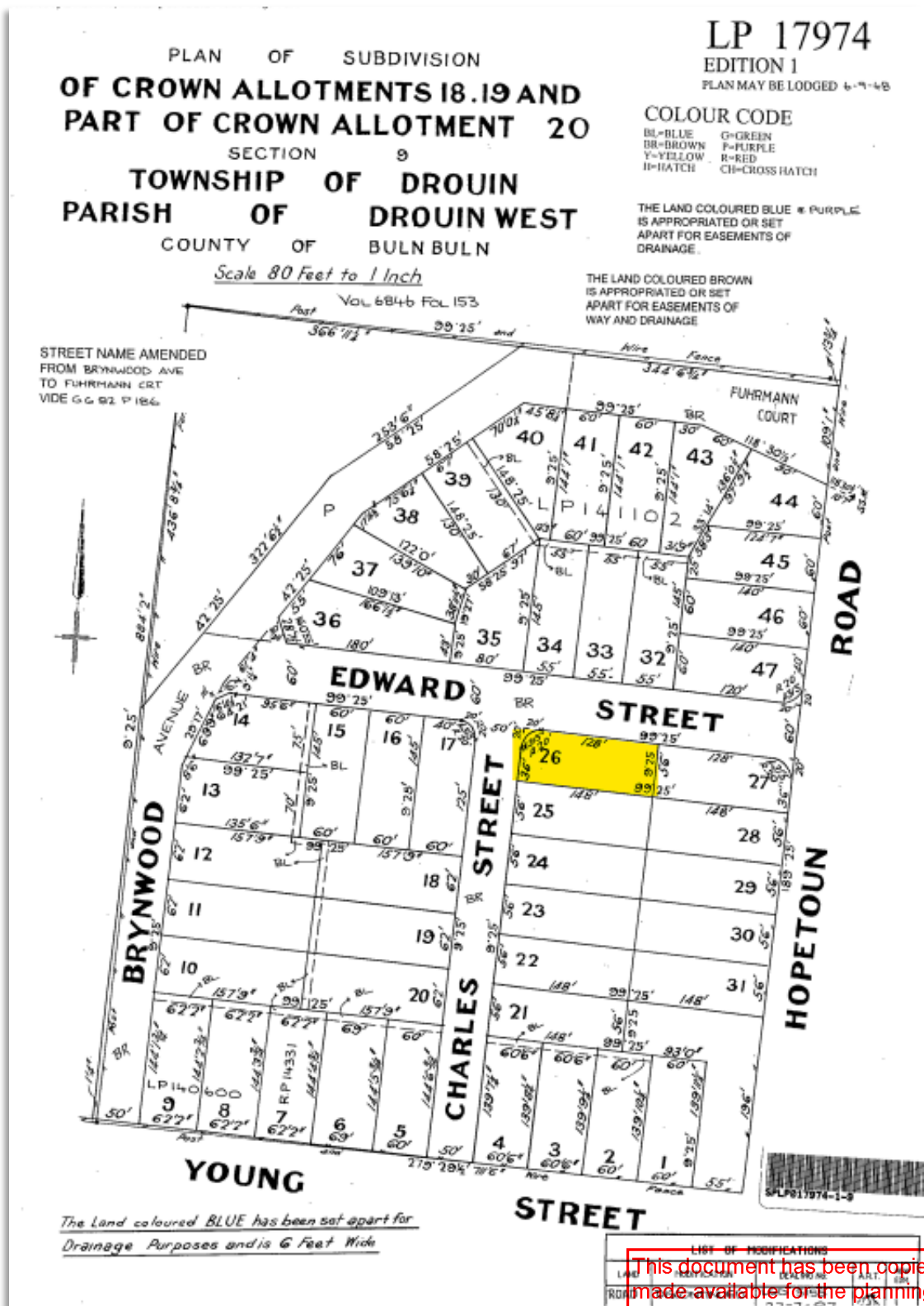
The land is not subject to any restrictions, covenants, or encumbering easements.

A copy of the Certificate of Title and Plan for each lot is provided as part of this submission.

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EXTRACT LP179474 IDENTIFYING THE SUBJECT SITE

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PERMIT HISTORY

Application Link	Lodgement Date	Proposal	Application Type	Stage/Decision	Address
PLA0040/17	20/02/2017	Development of a second dwelling and associated works in accordance with the endorsed plans	Planning Permit Application (New Permits)	Permit Issued	12 Charles Street DROUIN VIC 3818
PLA0262/18	28/08/2018	Two (2) lot subdivision	Planning Permit Application (New Permits)	Lapsed	12 Charles Street DROUIN VIC 3818
EOT0013/21	18/02/2021	PLA0262/18 Extension of Time	Planning Permit Process	Granted	12 Charles Street DROUIN VIC 3818

SURROUNDS

The subject site is mapped within the Drouin township boundary and is contained in a residential cell immediately to the north-east of the activity centre. The land is in a well serviced location with excellent access to a range of services, facilities and public transport:



LOCALITY MAP (NEARMAP, 2024)

Charles Street and Edwards Street are local access streets with concrete kerb and channel, and footpaths on both sides. Charles Street connects to Young Street to the south, and Edwards Street connects to Hopetoun Road to the east and Brynwood Avenue to the west.

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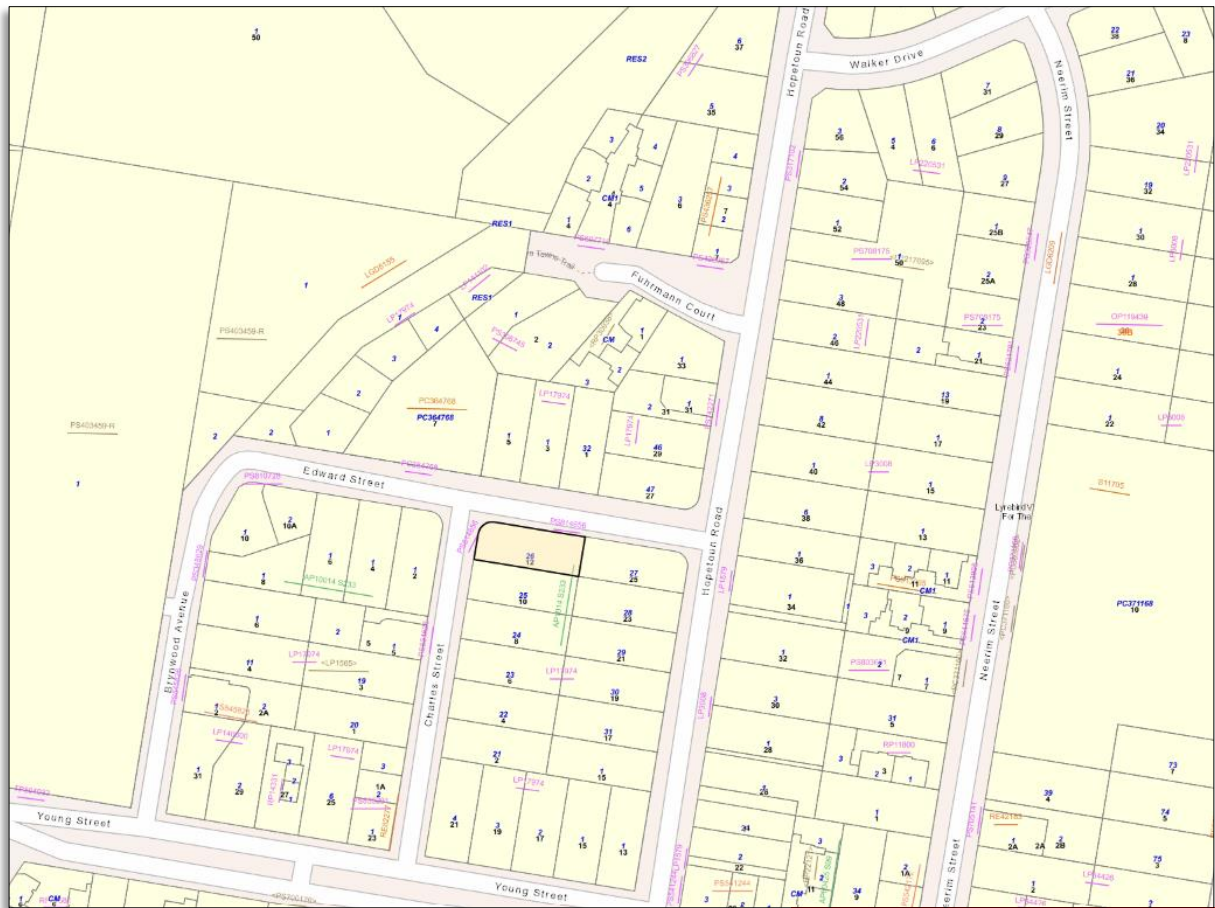
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Land use and development immediately adjoining the subject site is described in the table below:

NORTH	Abuts Edward Street.
EAST	25 Hopetoun Road, Drouin (Lot 27 LP17974) A GRZ1 corner allotment of 762m ² , developed with a single storey dwelling and detached garage.
SOUTH	10 Charles Street, Drouin (Lot 25 LP17974) A GRZ1 standard rectangular allotment of 770m ² , developed with a single storey dwelling and detached garage.
WEST	Abuts Charles Street

The subdivision pattern has traditionally been comprised of standard rectangular allotments of 600-800m², however, smaller lots associated with infill development are evident within the immediate and wider context:



SUBJECT SITE & SURROUNDING SUBDIVISION PATTERN (LASSI, 2024)

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4. THE PROPOSAL

The applicant seeks approval to subdivide the land at 12 Charles Street, Drouin into two (2) lots and develop the land with a second dwelling.

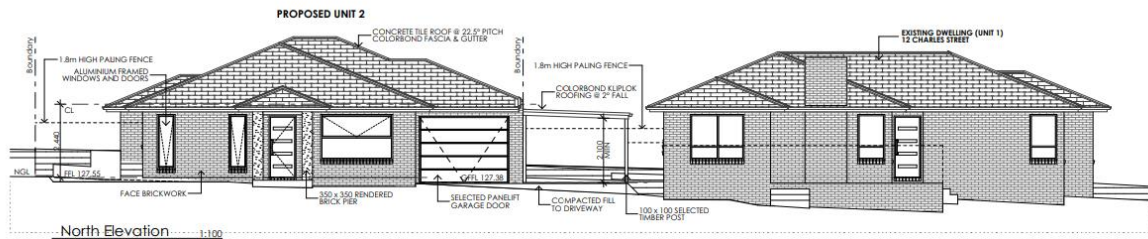
PERMIT REQUIREMENT:

A permit is required pursuant to:

- **Clause 32.08-3 Subdivision (GRZ)**, a permit is required to subdivide land.
- **Clause 32.08-7 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings (GRZ)**, a permit is required to construct a dwelling if there is at least one dwelling existing on the lot.

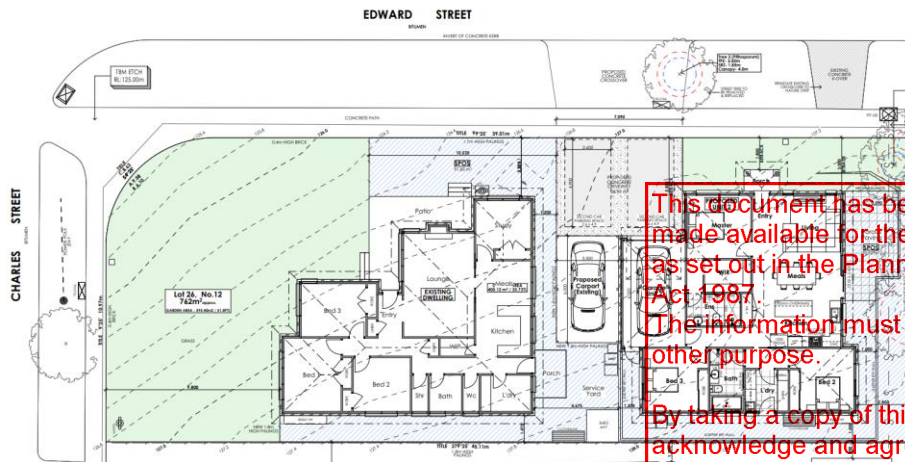
DEVELOPMENT PARTICULARS:

It is proposed to develop the rear of the subject land with a single detached dwelling and subdivide the land to provide each dwelling with their own title. The proposed second dwelling is single storey in height, of brick veneer construction with a tiled hipped roof, and features a single garage under roof with a tandem car parking space in the front setback. It is proposed to provide the existing dwelling with a single carport with tandem car parking space:



NORTH ELEVATION (JDESIGN, 2024)

The proposed second dwelling will feature three bedrooms, two bathrooms and open plan living with convenient access to secluded private open space to the east. An extract of the floorplans showing the overall layout of the proposed development is provided below:



EXTRACT OF PROPOSED DEVELOPMENT PLANS (JDESIGN, 2024)

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DESIGN RESPONSE:

The proposed development:

- Responds to the site key features and considerations;
- Achieves a high level of internal and external amenity;
- Is compatible with nearby land uses and development which are predominately residential in nature;
- Has taken design cues from existing built form in the immediate and wider area in terms of height, scale, form, materials, colours and finishes;
- Provides an excellent 'sense of address' with a prominent front porch/entry addressing Edward Street frontage and good passive surveillance to and from the site;
- Achieves 51.89% garden area for the site;
- Has been designed and sited to ensure SPOS and living spaces have good solar orientation and achieve good energy efficiency;
- Has ensured 'dead spaces' are to the south of the site;
- Achieves the statutory car parking requirements of Clause 52.06;
- Has been designed to minimise encroachment impacts to vegetation on adjoining third-party managed property; and
- Addresses the potential for any overlooking and overshadowing impacts to adjoining lots.

**VEGETATION CONSIDERATIONS**

Council approval is also sought to remove a municipal tree in the Edward Street reserve to facilitate the construction of a new double crossover to service both proposed lots. The existing crossover to Edward Street is to be reinstated as nature strip. No vegetation controls apply to the site and ornamental vegetation will be removed to facilitate the development. An arboricultural assessment (*ArbKey, May 2024*) has informed the TPZ & SRZ details of vegetation on adjoining lots and ensured the development does not result in any unacceptable encroachment impacts to third party owned trees.



ASSESSED TREES ON AND ADJOINING THE SITE (ARBKEY 2024)

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5. RELEVANT PLANNING CONTROLS

The following section addresses the objectives and requirements of the zoning and overlay controls relevant to the subject site identifying how these planning controls relate to the proposal, trigger an assessment and how we have addressed the requirements of planning provisions.

ZONING CONTROLS

The following provides a brief summary of the planning controls relevant to the subject site identifying how these planning controls relate to the proposal.

32.08 GENERAL RESIDENTIAL ZONE

The subject site is zoned within the General Residential Zone – Schedule 1 (GRZ1):



ZONING MAP (VICPLAN)

PURPOSES

The General Residential Zone seeks:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth, particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

NEIGHBOURHOOD CHARACTER OBJECTIVES

No neighbourhood character objectives are specified in the schedule to the zone.

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DECISION GUIDELINES

Pursuant to **Clause 32.08-14**, the responsible authority must consider, as appropriate (and in addition to **Clause 65**) the following decision guidelines:

General

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of this zone.*
- *The objectives set out in a schedule to this zone.*
- *Any other decision guidelines specified in a schedule to this zone.*
- *The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone, or Township Zone.*

Subdivision

- *The pattern of subdivision and its effect on the spacing of buildings.*
- *For subdivision of land for residential development, the objectives and standards of Clause 56.*

Dwellings, small second dwellings and residential buildings

- *For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.*

ASSESSMENT OF THE PROPOSAL AGAINST THE GRZ1:

The proposal helps to give effect to the Municipal Planning Strategy and the Planning Policy Framework, particularly the policies, objectives and strategies that have regard for the better utilisation of existing residential land, and the directive to support the growth of Warragul and Drouin. The proposal provides an excellent opportunity to provide further housing and an additional residential zoned lot in a well serviced location. The proposal complements the existing neighbourhood character and subdivision pattern and will not adversely impact on surrounding land uses and development. The proposed second dwelling does not result in any impacts to solar rooftop systems on adjoining lots and the overall development meets all relevant objectives and standards of Clause 55 and 56.

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OVERLAYS

45.06 DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY

The site is subject to the Development Contributions Plan Overlay – Schedule 1 (DCPO1):



HERITAGE OVERLAY (VICPLAN)

The Development Contributions Plan Overlay seeks:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which require the preparation of development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.

The schedule to the overlay implements the Baw Baw Shire Development Contributions Plan which provides for different amounts of levy to be payable in specified areas. The subject site is contained within Area 33 and a residential levy will be payable should a permit be granted for this application.

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6. MUNICIPAL PLANNING STRATEGY

CLAUSE 02.02 VISION

The vision (as described in the *2017-2021 Baw Baw Council Plan*) for Baw Baw Shire is of *happy healthy people sharing prosperity and knowledge from living sustainably and in harmony with our rural identity, thriving villages, productive and inspiring landscapes*. The land use visions for the municipality include the creation of vibrant communities, a thriving economy and safe and sustainable environments. The proposal is consistent with this vision and particularly aligns with the directive to accommodate most of the Shire's future growth within Warragul and Drouin.

CLAUSE 02.03 STRATEGIC DIRECTIONS

Population growth has predominately occurred in Warragul and Drouin Shire's two largest towns, and this growth is predicted to continue between now and 2036, particularly given both towns *benefit from train stations, open space areas, community facilities and a strong mix of uses within their boundaries or on their periphery (Clause 02.03-1)*. In the settlement hierarchy, Drouin is considered a main town (high growth), and the second largest service centre in the Shire. The proposal helps to give effect to the MSS and is consistent with the strategic directions for settlement planning in Baw Baw, particularly the directions to:

- *Develop Warragul and Drouin as sustainable high-growth settlements.*
- *Direct growth to townships that have reticulated infrastructure, such as water, sewerage and stormwater drainage.*

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7. STATE AND LOCAL PLANNING POLICY FRAMEWORK

This part of the report assesses and responds to the legislative and policy requirements for the project outlined in the Baw Baw Planning Scheme and in accordance with the Planning and Environment Act 1897. The relevant clauses of the State & Local Planning Policy Framework for subdivisions of the type presented in this report are largely contained in **Clauses 11, 15, 16 & 17**.

CLAUSE 11 SETTLEMENT

Clause 11.01-1S Settlement seeks to *facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements*. The proposal contemplates infill development in an established residential neighbourhood in Drouin, which is consistent with the strategies outlined within **Clause 11.01-1S**, especially the need to:

- *Develop sustainable communities through a settlement framework offering convenient access to jobs, services, infrastructure and community facilities.*
- *Support sustainable development of the regional centres of Ararat, Bacchus Marsh, Bairnsdale, Benalla, Castlemaine, Colac, Echuca, Gisborne, Hamilton, Kyneton, Leongatha, Maryborough, Portland, Sale, Swan Hill, Warragul/Drouin and Wonthaggi.*
- *Limit urban sprawl and direct growth into existing settlements.*

At a regional level, the proposal is consistent with the Gippsland Regional Growth Plan and aligns with the strategies of **Clause 11.01-1R Settlement-Gippsland**, particularly the strategy to support urban growth in Latrobe City as Gippsland's regional city, at Bairnsdale, Leongatha, Sale, Warragul/Drouin and Wonthaggi as regional centres, and in sub-regional networks of towns.

The proposal is supported by **Clause 11.01-1L-01 Growth in Baw Baw** which seeks to *direct population growth into towns having regard to their servicing, environmental and heritage constraints* and the *Drouin Framework Plan* implemented in **Clause 11.01-1L-02 Main towns - High Growth**, particularly the strategy to *prioritise higher population growth within the defined township boundary of Drouin*.

Clause 11.02-1S Supply of urban land has the objective to *ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses*. The proposal is consistent with the strategy to *ensure that sufficient land is available to meet forecast demand* and contemplates an additional residential lot to accommodate population growth within the Shire.

CLAUSE 15 BUILT ENVIRONMENT AND HERITAGE

Clause 15 Built Environment and Heritage has the objective to *ensure planning delivers built form that is of high quality and efficient, responsive to the surrounding landscape and character including its associated risks, protective of heritage and provides the functionality required by the community*. **Clause 15.01-1S Urban design** seeks to *create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity*. This is enhanced by **Clause 15.01-2S Building design** which has the objective to *achieve building design outcomes that contribute positively to the local context, enhance the public realm and support environmental*

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sustainable development. The proposed subdivision layout is responsive to its context and has been informed by a comprehensive site analysis. The design of the proposed vacant lot and associated envelope has considered landscaping opportunities and passive solar gains. The proposed crossover and driveway locations have regard for the safe movement of vehicles and pedestrians.

The proposal aligns with the objective of **Clause 15.01-3S Subdivision design**, which seeks to ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods. The proposal contemplates an additional residential lot within a well serviced location. The proposed lot configuration and lot sizes are consistent with similar developments in the vicinity of the subject site. The proposed lot design is safe, functional and does not adversely impact on the existing character or amenity of the neighbourhood. The proposal is responsive to the neighbourhood character objective of **Clause 15.01-5S Neighbourhood character** which seeks to recognise, support and protect neighbourhood character, cultural identity and sense of place. The proposed subdivision is compatible with the existing and emerging residential character in the immediate and wider area. The proposed lots will integrate with the existing subdivision pattern, noting that whilst the prevailing character features standard sized and shaped residential lots that support single detached dwellings, there is an emerging trend towards smaller lots commensurate of infill development.

CLAUSE 16 HOUSING

Clause 16 Housing has regard for the provision of diverse, sustainable and affordable housing with efficient supporting infrastructure, long-term access to services and walkability to activity centres, public transport, schools and open space. **Clause 16.01** relates to Residential Development, and **Clause 16.01-1S Housing supply** seeks to facilitate well-located, integrated and diverse housing that meets community needs. The proposal provides for the better utilisation of existing urban land proximate to the Drouin Activity Centre and Train Station. The proposal contemplates an additional detached dwelling of high-quality design with a high level of internal and external amenity that can meet the needs and aspirations of a variety of household types which further aligns with the housing supply objective. The proposed second dwelling and commensurate lot are smaller than those typically seen in the older more established areas of Drouin which addresses the need for choice in housing types, tenures and costs to meet the needs of households at various stages of life and diverse community types, and ultimately helps to give effect to the objectives and strategies of **Clause 16.01-2S Housing affordability**.

CLAUSE 17 ECONOMIC DEVELOPMENT

Clause 17 Economic Development has regard for Planning's role in fostering the economic growth and the economic wellbeing of the State. The proposal provides for economic benefits associated with the provision of new land and future housing, which is consistent with **Clause 17.01-1S Diversified economy** which seeks to strengthen and diversify the economy.

CLAUSE 18 TRANSPORT

Clause 18 Transport has regard to the provision of 'connectivity' for residents to social and economic opportunity which facilitates reliable movement for people and goods and supports environmental sustainability, health and wellbeing. Of salience here are the strategies of **Clause 18.0-1S Land use**

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and transport integration that seek to reduce distances people have to travel between their place of residence and their employment, education, service providers, and mobility within and between communities. Our proposal implies infill residential development within an existing urban area with good access to public transport, which promotes non-car dependant mobility and supports active living and improved wellbeing synonymous with the 20-minute neighbourhood.

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8. PARTICULAR PROVISIONS

The relevant particular provisions that will be addressed are identified below:

- **Clause 55** Two or more dwellings on a lot and residential buildings
- **Clause 56** Residential Subdivision

CLAUSE 55 TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS

Clause 55 applies to applications for two or more dwellings on a lot and residential buildings, and has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To achieve residential development respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.*
- *To encourage residential development that provides reasonable standards of amenity for existing and new residents.*
- *To encourage residential development that is responsive to the site and the neighbourhood.*

An assessment of the proposal against the relevant objectives and standards is provided below:

CLAUSE	RESPONSE
55.01 NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE	
55.01-1 Neighbourhood and site description	Please see 2. Subject Site and Surrounds as described early in this report for a detailed neighbourhood and site description. Please read in conjunction with the architectural and survey supporting documentation.
55.01-2 Design response	Please see 3. The Proposal as described earlier in this report for a detailed design response. Please read in conjunction with the architectural and survey supporting documentation.
55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE	
55.02-1 Neighbourhood character objectives	The proposal is consistent with the neighbourhood character objectives and Standard B1.
<ul style="list-style-type: none"> • <i>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</i> • <i>To ensure that development responds to the features of the site and the surrounding area.</i> 	The proposed built form and subdivision responds and contributes to existing and preferred neighbourhood character. Please refer to subsection 7 of this report, particularly our response to Clauses 02.03-5 Built environment and heritage, 15.01-2S Building design, 15.01-3S Subdivision design, 15.01-5S Neighbourhood character.
Standard B1	
55.02-2 Residential policy objectives	The proposal aligns with the residential policy objectives and standard B2.
<ul style="list-style-type: none"> • <i>Ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</i> 	The proposal is consistent with the Municipal Planning Strategy and the strategic directions for settlement and housing, particularly the directive to support the development of Warragul and Drouin as high growth settlements. A detailed

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Standard B2	response to the relevant planning policies and/or incorporated documents is provided in 7. State and Local Planning Policy .
55.02-3 Dwelling diversity objective <ul style="list-style-type: none"> To encourage a range of dwelling sizes and types in developments of ten or more dwellings. 	Clause 55.02-3 & Standard B3 is not applicable as the proposal does not provide for ten or more dwellings.
Standard B3	
55.02-4 Infrastructure objectives <ul style="list-style-type: none"> To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure. 	The proposal is consistent with the infrastructure objectives and Standard B4. <p>The development can connect to all services and the provision of one additional dwelling is not foreseen to overload the capacity of existing utility services and infrastructure.</p>
Standard B4	
55.02-5 Integration with the street objective <ul style="list-style-type: none"> To integrate the layout of development with the street. 	The proposal is consistent with the street integration objective and Standard B5. <p>The development ensures both dwellings are oriented to address the street and achieve a strong sense of address. The retention of the existing dwelling within the proposed development ensures the development integrates cohesively within the streetscape. The proposed second dwelling has taken design cues from existing built form in terms of height, materials, colours, form and siting and is not foreseen to adversely impact and surrounding land uses or development. The existing crossover from Edward Street is proposed to be reinstated as nature strip and a new double width crossover is proposed to be constructed centrally within the frontage to the satisfaction of Council. This is an appropriate outcome when having regard for the site features and the constraints posed by the site.</p>
Standard B5	
55.03 SITE LAYOUT AND BUILDING MASSING	
55.03-1 Street setback objective <ul style="list-style-type: none"> To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site. 	The proposal is consistent with the street setback objective and Standard B6. <p>The proposed second dwelling achieves the 3m front setback required under Table B1. Street Setback for new dwellings fronting the side street. The front porch is setback 1.8m from the street, which is an acceptable encroachment given the porch is not greater than 3.6m in height.</p>
Standard B6	
55.03-2 Building height objective <ul style="list-style-type: none"> To ensure that the height of buildings respects the existing or 	The proposal is consistent with the building height objective and achieves Standard B7.

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<p><i>preferred neighbourhood character.</i></p> <p>Standard B7</p>	<p>The proposed second dwelling is single storey in height complements and responds to the height of the existing dwelling and built form in the wider neighbourhood.</p>
<p>55.03-3 Site coverage objective</p> <p><i>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</i></p> <p>Standard B8</p>	<p>The proposal is consistent with the site coverage objective and Standard B8.</p> <p>No minimum site coverage is specified in the schedule to the zone, and the maximum site coverage required by Standard B8 is 60 per cent. The site coverage for the proposed development is 42.99 per cent.</p>
<p>55.03-4 Permeability and stormwater management objectives</p> <ul style="list-style-type: none"> • <i>To reduce the impact of increased stormwater run-off on the drainage system.</i> • <i>To facilitate on-site stormwater infiltration.</i> • <i>To encourage stormwater management that maximises the retention and reuse of stormwater.</i> <p>Standard B9</p>	<p>Complies with the permeability and stormwater management objectives and Standard B9.</p> <p>No minimum area is specified under the schedule to the zone, and the development achieves 51.89 per cent permeable surface area.</p>
<p>55.03-5 Energy efficiency objectives</p> <ul style="list-style-type: none"> • <i>To achieve and protect energy efficient dwellings and residential buildings.</i> • <i>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</i> <p>Standard B10</p>	<p>The proposal is consistent with the energy efficiency objectives and Standard B10.</p> <p>The proposed development meets the requirements of Standard B10 and has ensured both dwellings achieve good solar access. The living areas and private open space of both dwellings achieve good northern orientation. The proposed development does not impact on the energy efficiency or any rooftop solar energy systems on existing dwellings on adjoining lots.</p>
<p>55.03-6 Open space objective</p> <ul style="list-style-type: none"> • <i>To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</i> <p>Standard B11</p>	<p>The open space objective and Standard B11 are not applicable as no public or communal open space is provided in or adjacent to the development.</p>
<p>55.03-7 Safety objective</p> <ul style="list-style-type: none"> • <i>To ensure the layout of development provides for the</i> 	<p>The proposal is consistent with the safety objective and Standard B12.</p>

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<p><i>safety and security of residents and property.</i></p> <p>Standard B12</p>	<p>Entrances to dwellings are unobscured from the street and will be well lit to ensure the safety and security of residents. Private spaces have been fenced, and landscaping will not contribute to any unsafe spaces around the dwellings.</p>
<p>55.03-8 Landscaping objectives</p> <ul style="list-style-type: none"> <i>To encourage development that respects the landscape character of the neighbourhood.</i> <i>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</i> <ul style="list-style-type: none"> <i>To provide appropriate landscaping.</i> <i>To encourage the retention of mature vegetation on the site.</i> <p>Standard B13</p>	<p>The proposal is consistent with the landscaping objectives and Standard B13.</p> <p>The proposed development can support the provision of landscaping and planting of canopy trees.</p>
<p>55.03-9 Access objective</p> <ul style="list-style-type: none"> <i>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</i> <p>Standard B14</p>	<p>The proposal is consistent with the access objective and Standard B14.</p> <p>The existing single width crossover is proposed to be reinstated as nature strip and a new double width crossover is proposed to service both lots. The shared crossover is required when having regard for the site constraints that have prevented the garage for the second dwelling being located to the east of the dwelling (the existing sewer infrastructure and the TPZ & SRZ of vegetation on adjoining land). The proposed crossover ensures good accessibility for service, emergency and delivery vehicles is maintained. Corner splays have been provided to ensure sight lines are not obstructed (as required under Clause 52.06-9).</p>
<p>55.03-10 Parking location objectives</p> <ul style="list-style-type: none"> <i>To provide convenient parking for resident and visitor vehicles.</i> <i>To protect residents from vehicular noise within developments.</i> <p>Standard B15</p>	<p>The proposal is consistent with the parking objectives and Standard B15.</p> <p>Each proposed dwelling achieves two car parking spaces as required under Clause 52.06, and has been provided an enclosed, secure and well-ventilated single garage with a tandem carparking space as per Standard B15. No carparks of other dwellings are located within 1.5m of habitable rooms.</p>
<p>55.04 AMENITY IMPACTS</p>	
<p>55.04-1 Side and rear setbacks objective</p> <ul style="list-style-type: none"> <i>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</i> 	<p>The proposal is consistent with the side and rear setbacks objective and Standard B17</p> <p>The height and setbacks of the proposed development are respectful of existing neighbourhood character and will not impact upon the amenity of existing dwellings.</p>

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Standard B17	
<p>55.04-2 Walls on boundaries objective</p> <ul style="list-style-type: none"> To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. <p style="text-align: center;">Standard B18</p>	<p>The proposal is consistent with the walls on boundaries objective and Standard B18.</p> <p>The garage of the proposed second dwelling is proposed to be built on the boundary (6.0m). This is an appropriate planning outcome that will not result in any detriment to the adjoining lot.</p>
<p>55.04-3 Daylight to existing windows objective</p> <ul style="list-style-type: none"> To allow adequate daylight into existing habitable room windows. <p style="text-align: center;">Standard B19</p>	<p>The proposal is consistent with the daylight to existing windows objective and Standard B19.</p> <p>The proposed second dwelling does not decrease the amount of daylight available for existing habitable room windows.</p>
<p>55.04-4 North-facing windows objective</p> <ul style="list-style-type: none"> To allow adequate solar access to existing north-facing habitable room windows. <p style="text-align: center;">Standard B20</p>	<p>The proposal is consistent with the north-facing windows objective and Standard B20.</p> <p>No north-facing habitable room windows of an existing dwelling are located within 3 metres of the boundary of the abutting lot.</p>
<p>55.04-5 Overshadowing open space objective</p> <ul style="list-style-type: none"> To ensure buildings do not significantly overshadow existing secluded private open space. <p style="text-align: center;">Standard B21</p>	<p>Complies with the overshadowing open space objectives and Standard B21.</p> <p>The proposed development has achieved Standard B21 and does not significantly overshadow any existing secluded private open space. Shadow diagrams have been prepared which demonstrate that any areas of secluded private open space can achieve at least five hours of sunlight between 9am and 3pm on 22 September. Please refer to the overshadowing diagrams provided as part of the supporting architectural documentation for further clarification.</p>
<p>55.04-6 Overlooking objective</p> <ul style="list-style-type: none"> To limit views into existing secluded private open space and habitable room windows. <p style="text-align: center;">Standard B22</p>	<p>The proposal is consistent with the overlooking objective and Standard B22.</p> <p>The single storey height of the proposed second dwelling combined with the slope of the site and the 1.8 metre high boundary fence will prevent any potential for overlooking. Please refer to the overlooking diagram for further clarification.</p>

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<p>55.04-7 Internal views objective</p> <ul style="list-style-type: none"> To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development. <p>Standard B23</p>	<p>The proposal is consistent with the internal views objective and Standard B23.</p> <p>Views into the secluded private open space and habitable room windows of dwellings within the development are limited by the 1.8-metre-high boundary fencing and single storey built form.</p>
<p>55.04-8 Noise impacts objectives</p> <ul style="list-style-type: none"> To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise. <p>Standard B24</p>	<p>The proposal is consistent with the noise impact objectives and Standard B24.</p> <p>Noise sources have been taken into consideration in the design and siting of the development on the site. This modest development is not foreseen to generate unacceptable noise impacts outside of those typically anticipated in residential environments.</p>
<p>55.05 ON-SITE AMENITY AND FACILITIES</p>	
<p>55.05-1 Accessibility objective</p> <ul style="list-style-type: none"> To encourage the consideration of the needs of people with limited mobility in the design of developments. <p>Standard B25</p>	<p>The proposal is consistent with the accessibility objective and Standard B25.</p> <p>The proposed porch and entry for the second dwelling does not have more than three steps and is easily accessible to people with limited mobility.</p>
<p>55.05-2 Dwelling entry objective</p> <ul style="list-style-type: none"> To provide each dwelling or residential building with its own sense of identity. <p>Standard B26</p>	<p>The proposal is consistent with the dwelling entry objective and Standard B26.</p> <p>Entries to each dwelling are visible and easily identifiable from the street, and both dwellings have porches to provide shelter, a sense of personal address and a safe transitional space around the entry.</p>
<p>55.05-3 Daylight to new windows objective</p> <ul style="list-style-type: none"> To allow adequate daylight into new habitable room windows. <p>Standard B27</p>	<p>The proposal is consistent with the daylight to new windows objective and Standard B27.</p> <p>Windows in habitable rooms have been located to face outdoor space clear to the sky that achieves the minimum area of 3m² with a minimum 1m dimension.</p>
<p>55.05-4 Private open space objective</p> <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. <p>Standard B28</p>	<p>The proposal is consistent with the private open space objective and Standard B28.</p> <p>The provision of private open space and secluded private open space meets the requisite dimensions, has good northern orientation and is accessible from a living area.</p> <p>In terms of Secluded Private Open Space (SPOS), the existing dwelling achieves 89.33m² and the proposed second dwelling 70.92m².</p>

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<p>55.05-5 Solar access to open space objective</p> <ul style="list-style-type: none"> To allow solar access into the secluded private open space of new dwellings and residential buildings. <p>Standard B29</p>	<p>The proposal is consistent with the solar access to open space objective and Standard B29.</p> <p>The development has been sited to ensure open space with good northern orientation and useable secluded private open space with good solar access and high-quality amenity.</p>
<p>55.05-6 Storage objective</p> <ul style="list-style-type: none"> To provide adequate storage facilities for each dwelling. <p>Standard B30</p>	<p>The proposal is consistent with the storage objective and Standard B30.</p> <p>6m³ of storage has been provided to both dwellings.</p>
<p>55.06 DETAILED DESIGN</p>	
<p>55.06-1 Design detail objective</p> <ul style="list-style-type: none"> To encourage design detail that respects the existing or preferred neighbourhood character. <p>Standard B31</p>	<p>The proposal is consistent with the design detail objective and Standard B31.</p> <p>The proposal has taken design cues from the existing dwelling on the site as well as the built form and subdivision pattern of the wider area. Neighbourhood character in residential areas proximate to the Drouin Activity Centre and train station is transitioning towards smaller lots commensurate of unit style detached housing associated with infill development.</p> <p>The façade articulation and details are appropriate for the neighbourhood, and the design has limited the appearance of sheer walls through the employ of a prominent front porch and the stepping back of the garage/carport. The window and door proportions, cladding materials and roof style are sympathetic to those seen within the immediate and wider context.</p>
<p>55.06-2 Front fences objective</p> <ul style="list-style-type: none"> To encourage front fence design that respects the existing or preferred neighbourhood character. <p>Standard B32</p>	<p>The proposal is consistent with the front fences objective and Standard B32.</p> <p>No front fencing is proposed for the proposed second dwelling. The existing dwelling will retain the existing 0.4m high brick front fence.</p>
<p>55.06-3 Common property objectives</p> <ul style="list-style-type: none"> To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership. <p>Standard B33</p>	<p>The common property objectives and Standard B33 are not applicable to this proposal.</p> <p>No common property is proposed as part of this development. The subject site is a corner allotment with dual frontages providing each lot with individual street frontage.</p>
<p>55.06-4 Site services objectives</p>	<p>The proposal is consistent with the site services objectives and Standard B34.</p>

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<ul style="list-style-type: none"> • <i>To ensure that site services can be installed and easily maintained.</i> • <i>To ensure that site facilities are accessible, adequate and attractive.</i> <p style="text-align: center;">Standard B34</p>	<p>The proposed development has made provision for sufficient space and facilities for services to be installed and maintained efficiently and economically in the layout and design of the dwellings. Designated bin and recycling areas have been incorporated into the development in a conveniently accessible location that is not visually dominant from the street.</p> <p>Please refer to the supporting architectural documentation for further clarification on the location of bin and mailbox locations for each dwelling.</p>
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CLAUSE 56 RESIDENTIAL SUBDIVISION

Clause 56 applies to an application to subdivide land in the General Residential Zone, and has the following purposes:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To create liveable and sustainable neighbourhoods and urban places with character and identity.*
- *To achieve residential subdivision outcomes that appropriately respond to the site and its context for:*
 - *Metropolitan Melbourne growth areas.*
 - *Infill sites within established residential areas.*
 - *Regional cities and towns.*
- *To ensure residential subdivision design appropriately provides for:*
 - *Policy implementation.*
 - *Liveable and sustainable communities.*
 - *Residential lot design.*
 - *Urban landscape.*
 - *Access and mobility management.*
 - *Integrated water management.*
 - *Site management.*
 - *Utilities.*

Pursuant to **Clause 32.08-3** a two-lot subdivision is required to meet all of the objectives and should meet all of the standards of **Clauses 56.03-5, 56.04-2, 56.04-3, 56.04-5, 56.06-8 to 56.09-2.**

An assessment of the proposal against the above-mentioned Clauses has been provided below:

CLAUSE 56.03-5	<p>NEIGHBOURHOOD CHARACTER OBJECTIVE & STANDARD C6</p> <p>Clause 56.03-5 has the objective:</p> <ul style="list-style-type: none"> • <i>To design subdivisions that respond to neighbourhood character.</i> <p>Complies. Please refer to 2. Site Analysis and Surrounds and Clauses 15.01-3S and 15.01-5S for further information.</p>	<p>This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.</p> <p>By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>
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CLAUSE 56.04-2	<p>LOT AREA AND BUILDING ENVELOPES OBJECTIVE & STANDARD C8</p> <p>Clause 56.04-2 has the objective:</p> <ul style="list-style-type: none"> <i>To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.</i> <p>Both lots support good solar access which assists dwellings to achieve the energy efficiency rating requirements of the Building Regulations. Both lots can achieve on-site car parking and private open space with high amenity.</p>
CLAUSE 56.04-3	<p>SOLAR ORIENTATION OF LOTS OBJECTIVE & C9</p> <p>Clause 56.04-3 has the objective:</p> <ul style="list-style-type: none"> <i>To provide good solar orientation of lots and solar access for future dwellings.</i> <p>Both lots have good solar orientation (the long axis is 3 degrees south of East) and dimensions that are adequate to protect solar access to dwellings.</p>
CLAUSE 56.04-5	<p>COMMON AREA OBJECTIVES & STANDARD C11</p> <p>Clause 56.04-5 has the following objectives:</p> <ul style="list-style-type: none"> <i>To identify common areas and the purpose for which the area is commonly held.</i> <i>To ensure the provision of common area is appropriate and that necessary management arrangements are in place.</i> <i>To maintain direct public access throughout the neighbourhood street network.</i> <p>Not applicable. No common area is proposed.</p>
CLAUSE 56.06-8	<p>LOT ACCESS OBJECTIVE & STANDARD C21</p> <p>Clause 56.06-8 has the objective:</p> <ul style="list-style-type: none"> <i>To provide for safe vehicle access between roads and lots.</i> <p>It is proposed to create a new double width concrete crossover from Edward Street to provide access to both lots, which will be designed and constructed to Council's specifications and satisfaction. The existing single width concrete crossover will be reinstated to its original position. The proposed crossover will provide safe vehicle access between the street and the two lots. The Edward Street frontage has good sight lines and experiences a low volume of local traffic.</p>

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CLAUSE 56.07-1	<p>DRINKING WATER SUPPLY OBJECTIVES & STANDARD C22</p> <p>Clause 56.07-1 has the following objectives:</p> <ul style="list-style-type: none"> To reduce the use of drinking water. To provide an adequate, cost-effective supply of drinking water. <p>The supply of drinking water will be provided to the boundary of the proposed new lot and will be designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.</p>
CLAUSE 56.07-2	<p>REUSED AND RECYCLED WATER OBJECTIVE & STANDARD C23</p> <p>Clause 56.07-2 has the objective:</p> <ul style="list-style-type: none"> To provide for the substitution of drinking water for non-drinking purposes with reused and recycled water. <p>Reused and recycled water supply systems will be provided to the boundary of both lots where available.</p>
CLAUSE 56.07-3	<p>WASTE WATER MANAGEMENT OBJECTIVE & STANDARD C24</p> <p>Clause 56.07-3 has the objective:</p> <ul style="list-style-type: none"> To provide a waste water system that is adequate for the maintenance of public health and the management of effluent in an environmentally friendly manner. <p>The existing dwelling is connected to reticulated sewerage. A reticulated waste-water system will be provided to the boundary of proposed Lot 2, and designed, constructed and managed in accordance with the requirements and to the satisfaction of the relevant water authority and the Environment Protection Authority.</p>
CLAUSE 56.07-4	<p>STORMWATER MANAGEMENT OBJECTIVES & STANDARD C25</p> <p>Clause 56.07-4 has the following objectives:</p> <ul style="list-style-type: none"> To minimise damage to properties and inconvenience to residents from stormwater. To ensure that the street operates adequately during major storm events and provides for public safety. To minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater. To encourage stormwater management that maximises the retention and reuse of stormwater. To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces. <p>The proposal creates one additional lot, and this small increase is not foreseen to significantly alter flows downstream of the site that differ from the pre-existing stormwater system.</p>

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CLAUSE 56.08-1	<p>SITE MANAGEMENT OBJECTIVES & STANDARD C26</p> <p>Clause 56.08-1 outlines the following objectives:</p> <ul style="list-style-type: none"> • <i>To protect drainage infrastructure and receiving waters from sedimentation and contamination.</i> • <i>To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.</i> • <i>To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practicable.</i> <p>It is not foreseen that the works required to facilitate this small subdivision will adversely impact infrastructure, waterways or the environment.</p>
CLAUSE 56.09-1	<p>SHARED TRENCHING OBJECTIVES & STANDARD C27</p> <p>Clause 56.09-1 seeks:</p> <ul style="list-style-type: none"> • <i>To maximise the opportunities for shared trenching.</i> • <i>To minimise constraints on landscaping within street reserves.</i> <p>Reticulated services will be provided in shared trenching wherever possible to minimise impacts on existing vegetation and opportunities for future landscaping.</p>
CLAUSE 56.09-2	<p>ELECTRICITY AND TELECOMMUNICATIONS OBJECTIVES & STANDARD C28</p> <p>Clause 56.09-2 has the following objectives:</p> <ul style="list-style-type: none"> • <i>To provide public utilities to each lot in a timely, efficient and cost effective manner.</i> • <i>To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</i> <p>Lot 1 is connected to all utilities. Electricity and telecommunications will be provided to the boundary of proposed Lot 2 and designed to the satisfaction of the relevant authority.</p>

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9. GENERAL PROVISIONS

The relevant general provisions that will be addressed in this section are identified below:

- Clause 65 Decision Guidelines
- Clause 65.02 Approval of an application to subdivide land

CLAUSE 65 DECISION GUIDELINES

Clause 65 states that the Responsible Authority must decide whether the proposal will provide acceptable outcomes in terms of the decision guidelines of this Clause. The decision guidelines of **65.02** relating to the approval of an application to subdivide the land are relevant to this application.

CLAUSE 65.02 APPROVAL OF AN APPLICATION TO SUBDIVIDE LAND	
DECISION GUIDELINES	RESPONSE
<i>The suitability of the land for subdivision.</i>	The land is zoned for residential purposes. The proposed lot sizes are complementary to the existing subdivision pattern in the neighbourhood where infill development has occurred.
<i>The existing use and possible future development of the land and nearby land.</i>	
<i>The availability of subdivided land in the locality and the need for the creation of further lots.</i>	
<i>The effect of development on the use or development of other land which has a common means of drainage.</i>	It is anticipated that the existing stormwater infrastructure in Charles and Edwards Street will capture any surface runoff. The proposal is a modest development that is not foreseen to overwhelm any existing drainage systems.
<i>The subdivision pattern having regard to the physical characteristics of the land including existing vegetation.</i>	The subdivision is responsive to the constraints and considerations posed by the site.
<i>The density of the proposed development.</i>	The density of the proposed subdivision is appropriate for the locality and reflects infill development and commensurate small lots in the wider context.
<i>The area and dimensions of each lot in the subdivision.</i>	The proposed lots have areas and dimensions that complement those seen in the wider area.
<i>The provision and location of reserves for public open space and other community facilities.</i>	The proposal does not include the provision of public open space or other community facilities.
<i>The staging of the subdivision.</i>	Not applicable.
<i>The design and siting of buildings have regard to safety and the risk of spread of fire.</i>	The proposed second dwelling is adequately setback from the existing dwelling to negate fire risk.

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<i>The provision of off-street parking.</i>	Both proposed lots can support off-street parking.
<i>The functions of any body corporate.</i>	Not applicable.
<i>The availability and provision of utility services, including water, sewerage, drainage, electricity and gas.</i>	Both proposed lots will connect to all available reticulated services, including sewer.
<i>If the land is not seweraged and no provision has been made for the land to be seweraged, the capacity of the land to treat and retain all sewage and sullage within the boundaries of each lot.</i>	
<i>Whether, in relation to subdivision plans, native vegetation can be protected through subdivision and siting of open space areas.</i>	No native vegetation is present on or adjoining the site.
<i>The impact the development will have on the current and future development and operation of the transport system.</i>	The proposed subdivision does not adversely impact on the current and future development and operation of the transport system.

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10. CONCLUSION

It is submitted that the proposal is an appropriate planning outcome and warrant's Council's support for the following reasons:

- The proposal is consistent with the Municipal Planning Strategy and the Planning Policy Framework, including the directive to support the development of Drouin as a high growth settlement in the Shire;
- The proposal provides further housing within the Drouin township boundary and helps to give effect to State and Local policies that have regard for infill development in well serviced locations and the better utilisation of existing urban land;
- The proposal is consistent with the purpose of the General Residential Zone – Schedule 1 and respectful of surrounding land uses or development;
- The proposed subdivision layout and lot sizes and dimensions are complementary to those seen in the wider context and the subdivision will integrate with the existing subdivision pattern;
- The proposal has satisfied all relevant objectives and standards of Clauses 55 & 56 (ResCode); and
- The constraints and considerations of the site have been identified and appropriately responded to throughout the design process; and
- Ultimately, the development provides an additional residential zoned lot and high-quality dwelling in a well serviced location with good walkability and excellent access to public transport which aligns with State and Local Planning Policies that have regard for residential development and housing supply.

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Town Planning Drawings - B

Sheet Index

- 1 Cover Sheet
- 2 Neighbourhood Character Plan
- 3 Design Response Plan
- 4 Site Analysis Plan
- 5 Elevations & Overlooking Diagram
- 6 Shadow Diagrams



<p>DRAWING NAME: Cover Sheet</p> <p>DESIGN TYPE: Custom Design</p>	<p>PROJECT: Proposed Dual Occupancy</p> <p>CLIENT:</p> <p>AT: Lot 26, No.12 Charles Street, Drouin</p>	<p>Areas</p> <p>Existing Dwelling: 134.61 sqm (14.48sq) <small>sq</small></p> <p>Proposed Carport: 21.00 sqm (2.26sq) <small>sq</small></p> <p>Existing Verandah: 15.50 sqm (1.67sq) <small>sq</small></p> <p>Existing Porch: 4.68 sqm (0.50sq) <small>sq</small></p> <p>Total: 175.79 sqm (18.92sq) <small>sq</small></p>	<p>Areas</p> <p>Proposed Unit 2: 125.83 sqm (13.54sq) <small>sq</small></p> <p>Unit 2 Garage: 23.59 sqm (2.54sq) <small>sq</small></p> <p>Unit 2 Porch: 2.40 sqm (0.26sq) <small>sq</small></p> <p>Total: 151.82 sqm (16.34sq) <small>sq</small></p>		<p>SCALE NTS</p> <p>SIZE A1</p> <p>DRAWN: DC</p> <p>SHEET: 1 of 6</p> <p>DATE: August 24</p>	<p>By taking a copy of this document, the user acknowledges and agrees that they will not use the document for any purpose other than that for which it was prepared and that any dissemination, distribution or copying of this document is strictly prohibited.</p> <p>DESIGN GROUP Ph: 5474 2504 Builder DB-M 36842</p>
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NOTE: Refer To Elevations For Details

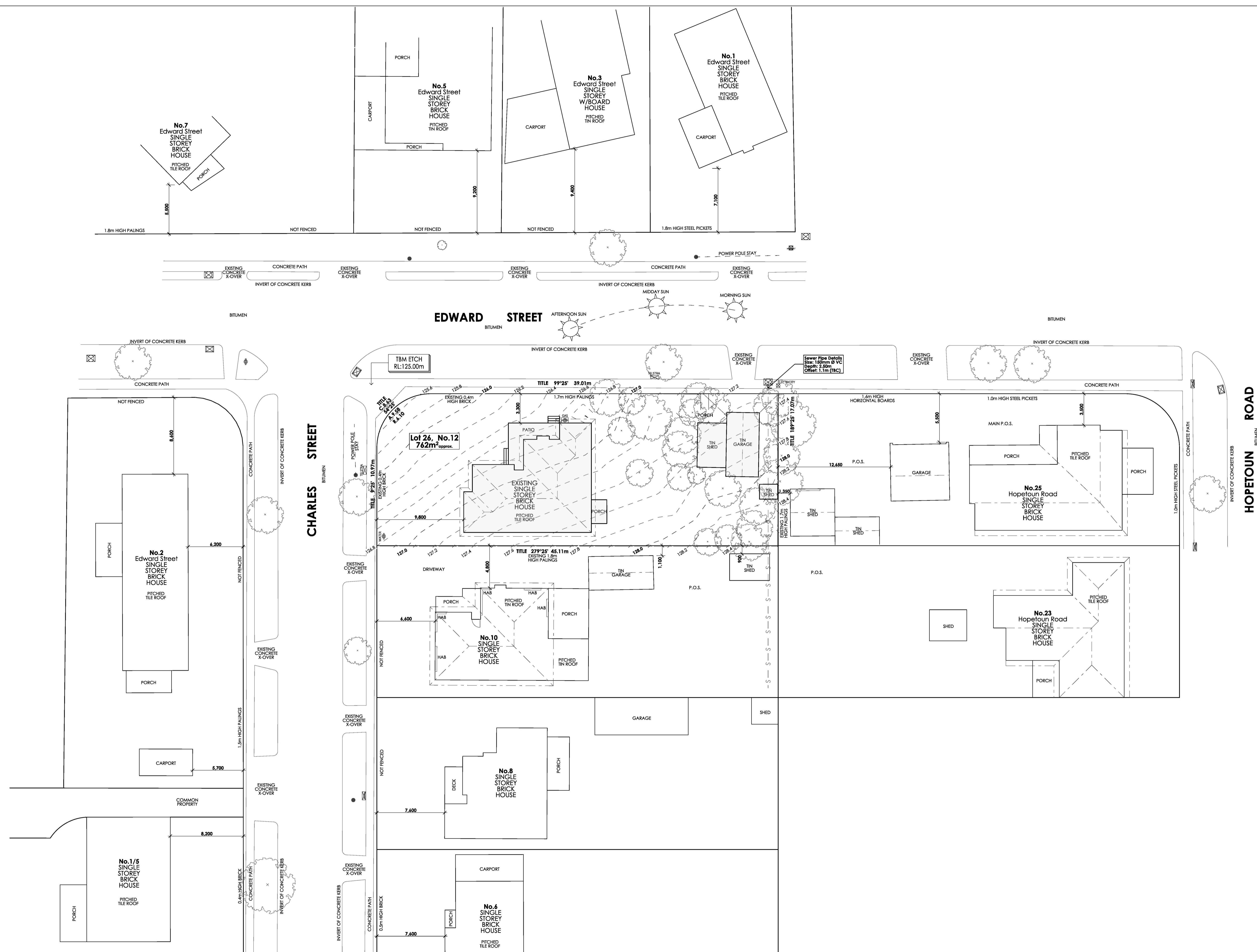
Legend

P.S	PRIMARY SCHOOL: APPROX. 0.78KM TO DROUIN PRIMARY SCHOOL
S.S	SECONDARY SCHOOL: APPROX. 1.41KM TO DROUIN SECONDARY COLLEGE
	PARKS: APPROX. 440m TO ALEX GOUDIE FLORA & FAUNA RESERVE
	SHOPS: APPROX. 410m TO DROUIN POST OFFICE
	BUS STOP / RAILWAY STATION: APPROX. 550m TO DROUIN RAILWAY STATION
	EXISTING TREES
- - -	OVERHEAD POWERLINES
S/S	SINGLE STOREY RESIDENCE
D/S	DOUBLE STOREY RESIDENCE
B/V	BRICK VENEER CONSTRUCTION
W/B	WEATHERBOARD
L/C	LIGHTWEIGHT CLADDING
T/R	CONCRETE TILED ROOF
CB/R	COLORBOND / TIN ROOF
SHED	SHED
HAB.	HABITABLE ROOM WINDOW
N.HAB	NON - HABITABLE ROOM WINDOW
P.O.S.	PRIVATE OPEN SPACE

SURVEYING LEGEND

■	GRATE	□	PIT	⊕	LIGHT POLE
○	SEWER FIT	⊗	TELSTRA FIT	⊗	EXISTING TREES
⊗	SIDE ENTRY FIT	○	POWER POLE	⊗	DRAINAGE FIT
⊗	VALVE	⊗	SIGN	⊗	HYDRANT
		⊗	HYDRANT	⊗	ELEC. FIT

NOTE:
- LEVELS SHOWN ON THIS PLAN ARE TO A.M.D. BASED ON DROUIN WEST PM 133 (RL 139.044)
- SURVEY PROVIDED BY NOBLE'S LAND SURVEYORS
- DATE OF SURVEY: 05/03/2024
- SURV. REF. NO. 21653
- TITLE & BUILDING POSITIONS OFF SUBJECT SITE ARE DISPLAYED FOR INDICATION PURPOSES. USE QUOTED SETBACKS ONLY.



Neighbourhood Character 1:200

DRAWING NAME: Neighbourhood Character Plan	PROJECT: Proposed Dual Occupancy
DESIGN TYPE: Custom Design	CLIENT: At: Lot 26, No.12 Charles Street, Drouin

Areas	Existing Dwelling: 134.61 sqm (14.48sq)	Proposed Unit 2: 125.83 sqm (13.54sq)
	Proposed Carport: 21.00 sqm (2.26sq)	Unit 2 Garage: 23.59 sqm (2.54sq)
	Existing Verandah: 15.50 sqm (1.47sq)	Unit 2 Porch: 2.40 sqm (0.26sq)
	Existing Porch: 4.68 sqm (0.50sq)	Total: 151.82 sqm (16.34sq)

SCALE	1:200
SIZE	A1
DATE	August 24

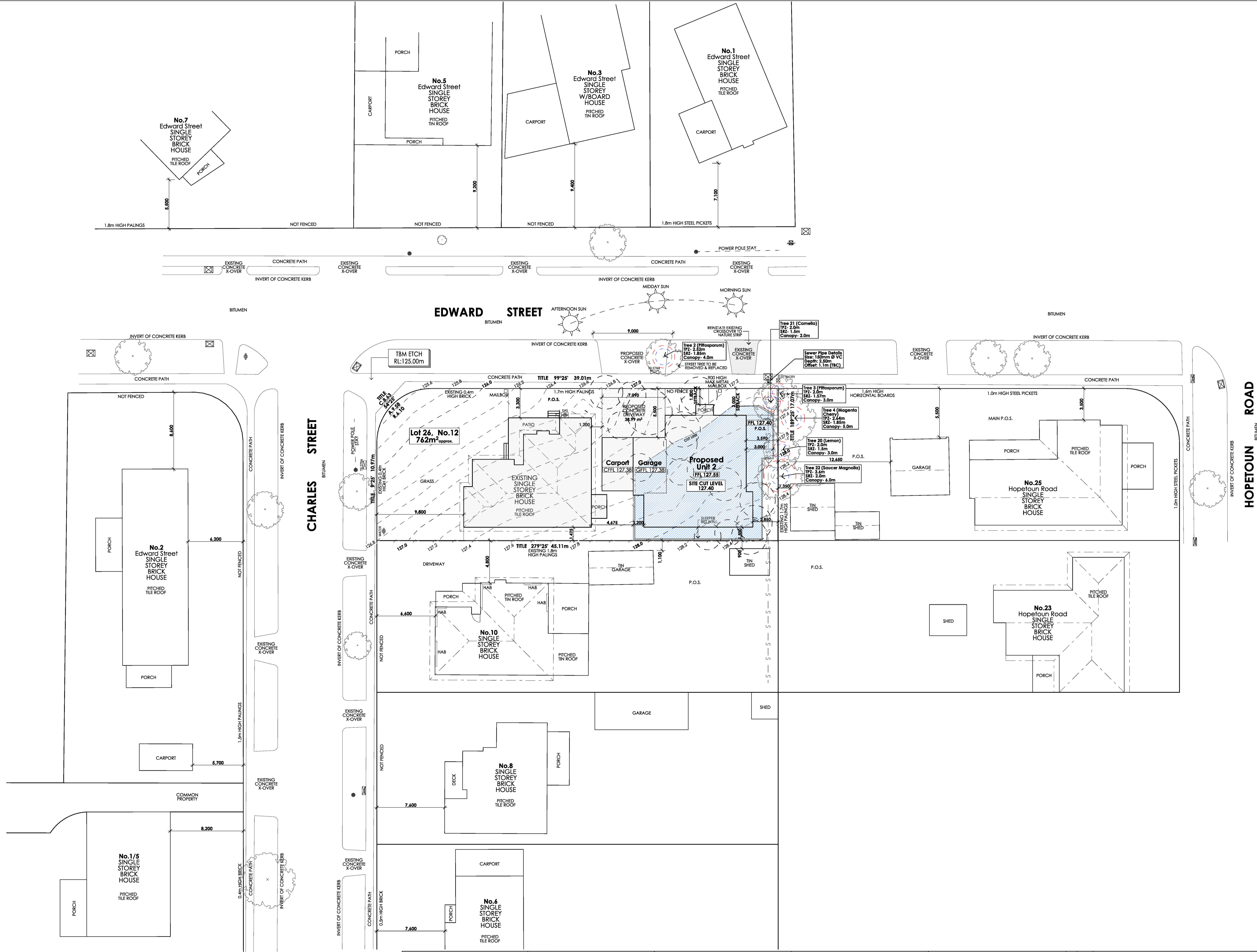
ISSUE	DATE	AMENDMENTS
B	Aug 24	Town Planning Submission TP_B (Rf requested changes)
A	July 24	Town Planning Submission TP_A

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Email: info@designgroup.com.au
www.designgroup.com.au
DB-M 36847

TREE LEGEND	
TR	REFER TO ARBORIST REPORT FOR TREE INFORMATION
	TREE TO REMAIN
	STRUCTURAL ROOT ZONE (SRZ)
	TREE PROTECTION ZONE (TPZ)
	TREES TO BE REMOVED

NOTE:
PLEASE REFER TO ARBORIST REPORT ON SEPARATE DOCUMENT FOR FURTHER INFORMATION



Design Response 1:200

DRAWING NAME: Design Response Plan	PROJECT: Proposed Dual Occupancy
DESIGN TYPE: Custom Design	CLIENT: AT: Lot 26, No.12 Charles Street, Drouin

Areas Existing Dwelling: 134.61 sqm (14.48sq)	Proposed Dwelling: 125.83 sqm (13.54sq)
Proposed Carport: 21.00 sqm (2.26sq)	Unit 2 Garage: 23.59 sqm (2.54sq)
Existing Verandah: 15.50 sqm (1.67sq)	Unit 2 Porch: 2.40 sqm (0.26sq)
Existing Porch: 4.68 sqm (0.50sq)	Total: 151.82 sqm (16.34sq)

Areas Proposed Unit 2: 125.83 sqm (13.54sq)	Unit 2 Garage: 23.59 sqm (2.54sq)
Unit 2 Porch: 2.40 sqm (0.26sq)	Total: 151.82 sqm (16.34sq)

SCALE	1:200
SIZE	A1
DRAWN	DC
SHEET	3 of 6
DATE	August 24
AMENDMENTS:	

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Design Group Pty Ltd
 15/74 25th St, Drouin, VIC 3682
 Tel: 03 574 2504
 Email: info@designgroup.com.au

Area Analysis

SITE AREA:	762sqm
EXISTING DWELLING 1 AREA:	154.79sqm
PROPOSED CARPORT DWELLING 1:	21.00sqm
PROPOSED UNIT 2 TOTAL AREA:	151.82sqm
TOTAL BUILDING FOOTPRINT:	327.61sqm
SITE COVERAGE:	42.99%
TOTAL DRIVEWAY AREA:	38.99sqm
TOTAL HARD SURFACE COVERAGE:	48.11%
PERMEABLE SURFACE:	395.40sqm (51.89%)
GARDEN AREA:	395.40sqm (51.89%)

- DENOTES SECLUDED PRIVATE OPEN SPACE AREA
- DENOTES GARDEN AREA WITH 1m MIN DIMENSION

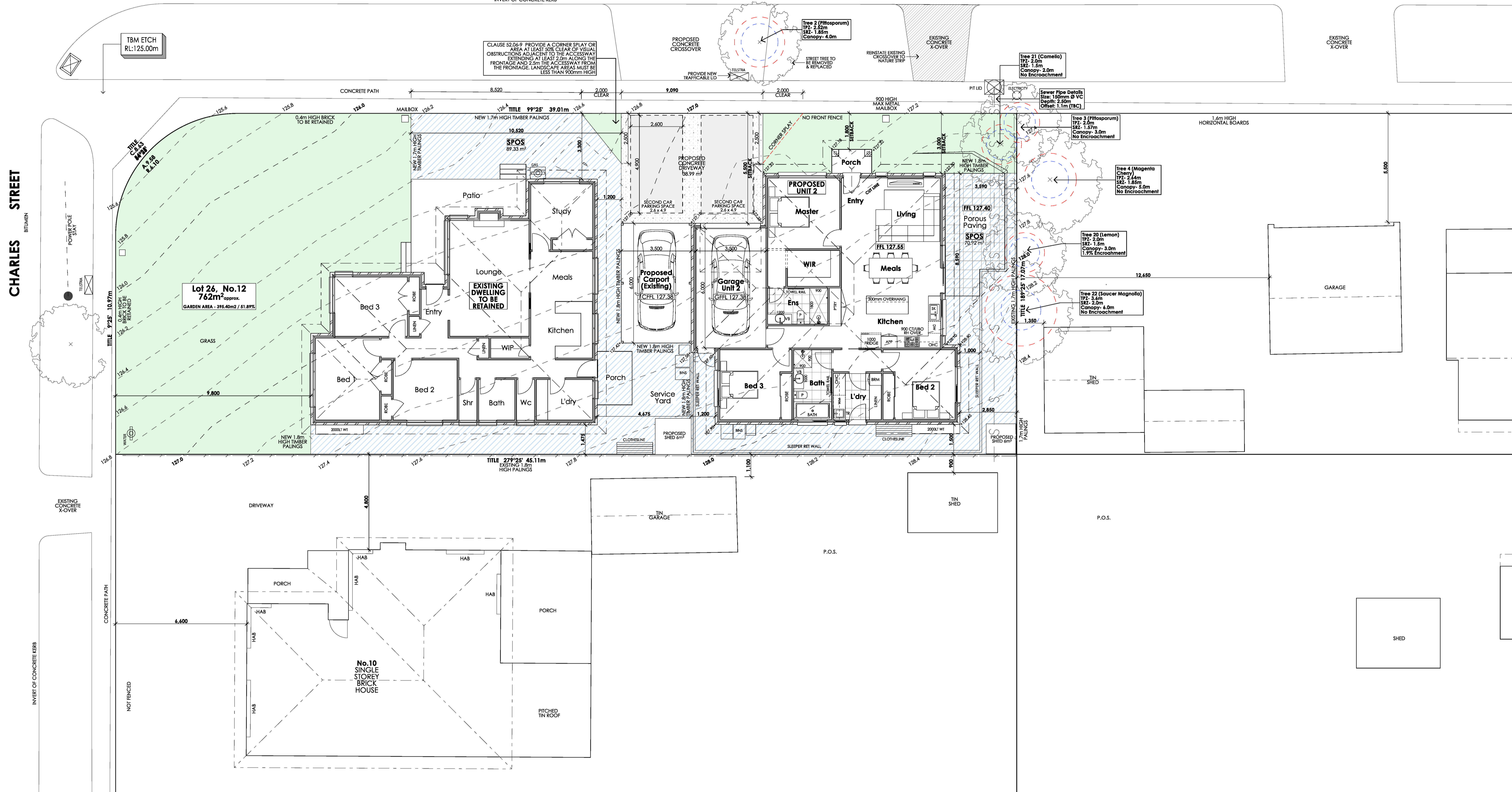
TREE LEGEND

T#	REFER TO ARBORIST REPORT FOR FREE INFORMATION
	TREE TO REMAIN
	STRUCTURAL ROOT ZONE (SRZ)
	TREE PROTECTION ZONE (TPZ)

NOTE:
PLEASE REFER TO ARBORIST REPORT ON SEPARATE DOCUMENT FOR FURTHER INFORMATION

EDWARD STREET

BITUMEN
INVERT OF CONCRETE KERB



Lot 26, No.12
762m² approx.
GARDEN AREA - 395.40m² / 51.89%

TITLE 279°25' 45.11m
EXISTING 1.8m HIGH PALINGS

Site Analysis 1:100

- DENOTES GARDEN AREA

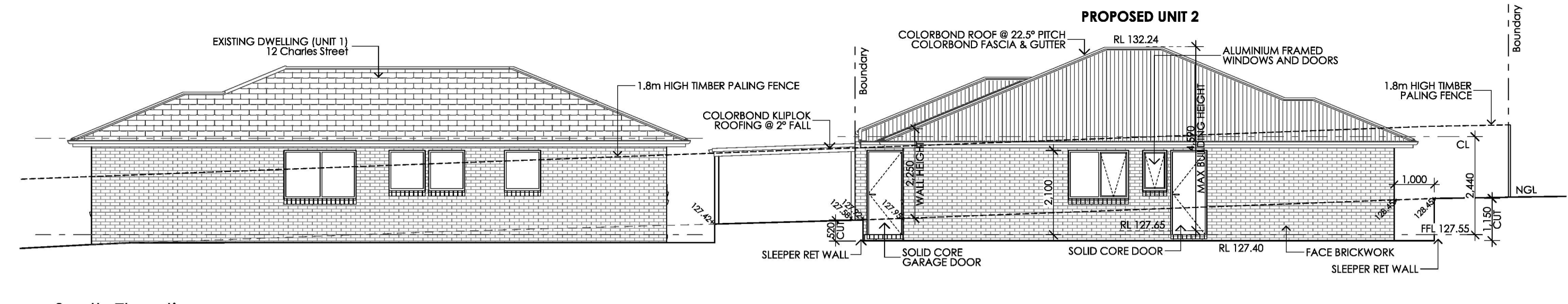
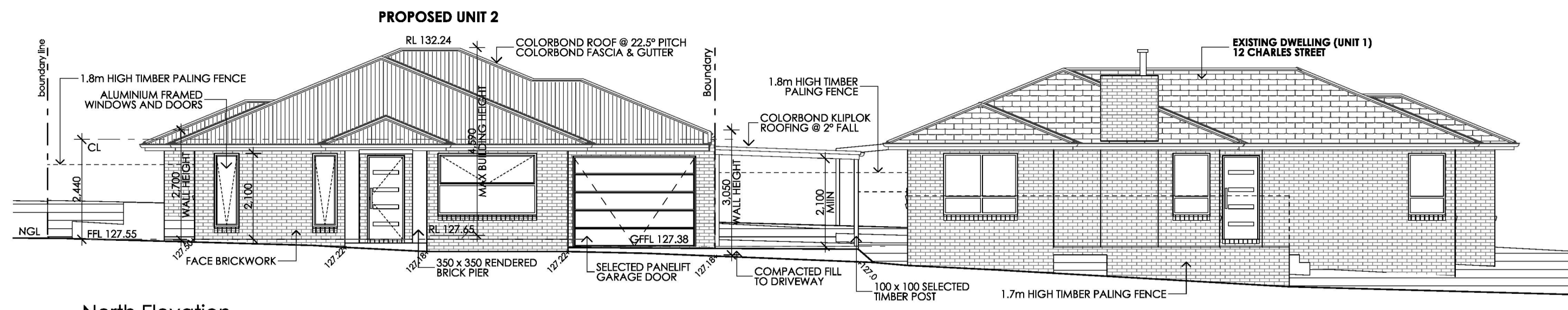
DRAWING NAME: Site Analysis Plan	PROJECT: Proposed Dual Occupancy
CLIENT: Tanya Couillard	AREAS: Existing Dwelling: 134.61 sqm (14.48sq) Proposed Carport: 21.00 sqm (2.26sq) Existing Verandah: 15.50 sqm (1.47sq) Existing Porch: 4.68 sqm (0.50sq) Total: 175.79 sqm (18.72sq)
DESIGN TYPE: Custom Design	AREAS: Proposed Unit 2: 125.83 sqm (13.54sq) Unit 2 Garage: 23.59 sqm (2.54sq) Unit 2 Porch: 2.40 sqm (0.26sq) Total: 151.82 sqm (16.34sq)
AT: Lot 26, No.12 Charles Street, Drouin	

SCALE: 1:100	DRAWN: DC
DATE: August 24	DATE: August 24

ISSUE: A July 24 Town Planning Submission TP_A	DATE: August 24
ISSUE: B Aug 24 Town Planning Submission TP_B (Rf requested changes)	DATE: August 24

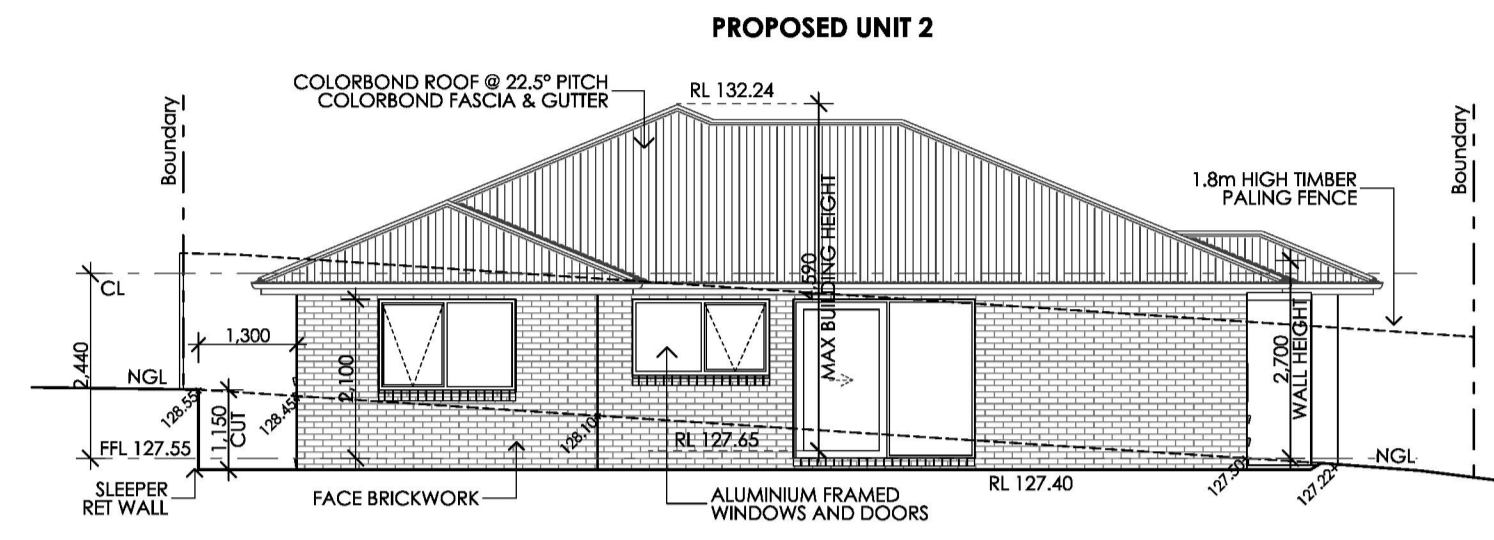
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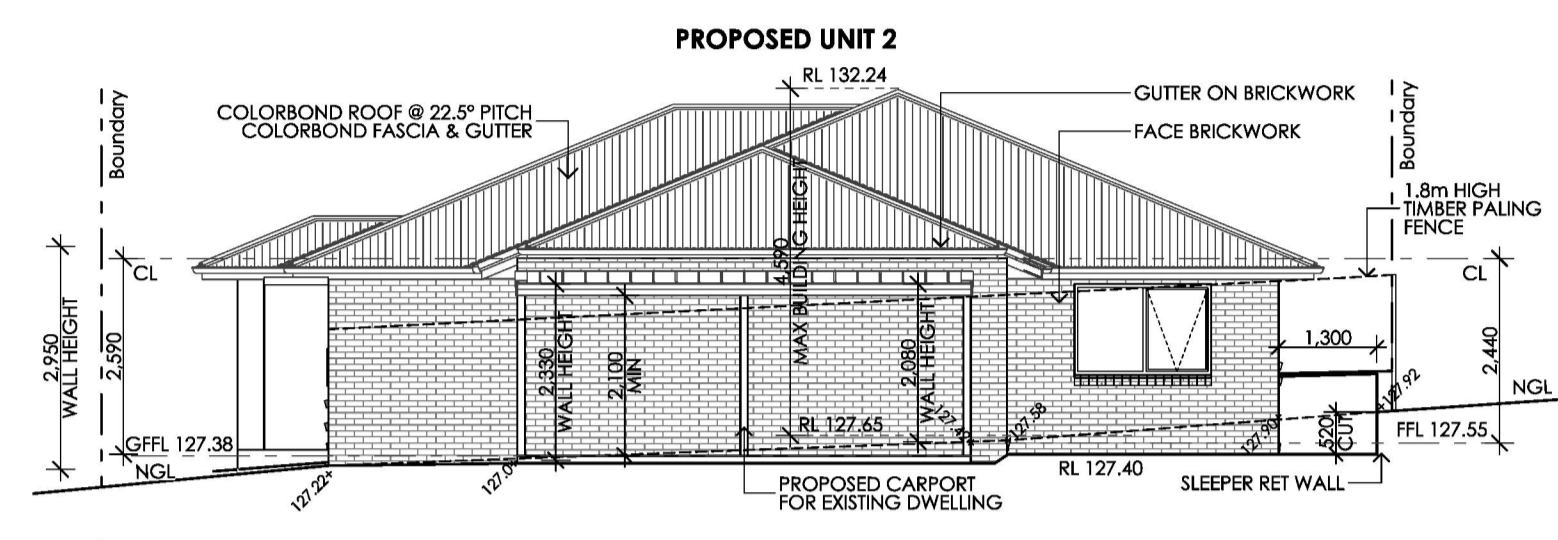


North Elevation 1:100

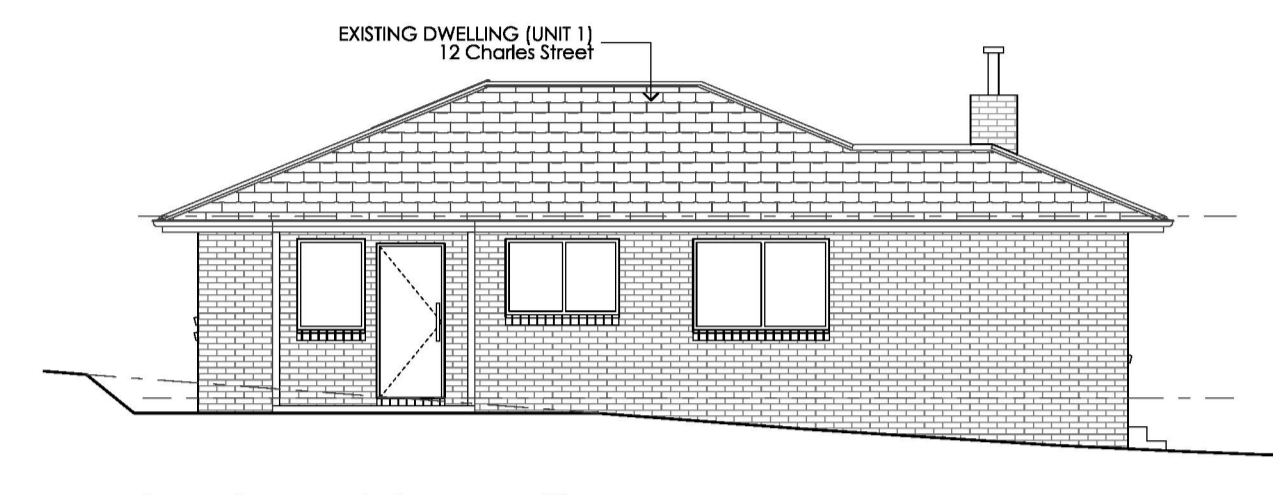
South Elevation 1:100



East Elevation 1:100



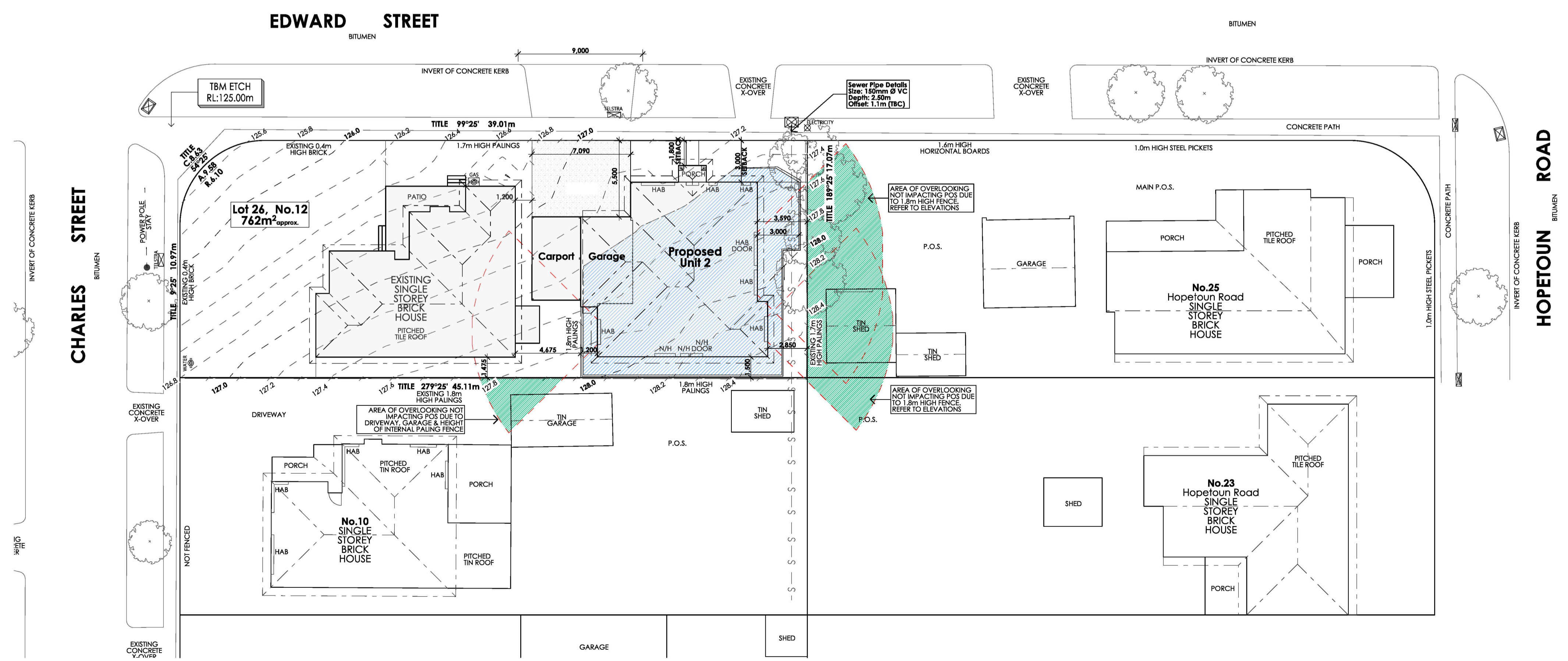
West Elevation 1:100



East Elevation - Existing Dwelling 1:100



North Elevation - Streetscape 1:100



Site Plan 1:200 (overlooking)

COLOUR SCHEDULE	
	BRICKS - BRICKWORKS 'HOMESTEAD MUSHROOM'
	COLORBOND ROOF 'WOODLAND GREY'
	GARAGE DOOR/ GUTTERS/ FASCIA/ DOWNPIPES - COLORBOND 'WOODLAND GREY'
	ALUMINIUM WINDOWS 'SURFIMIST'
	CONCRETE DRIVEWAY 'PLAIN'
	RENDERED PIERS / POSTS / MAILBOX 'WOODLAND GREY'

DRAWING NAME: Elevations & Overlooking Diagram	PROJECT: Proposed Dual Occupancy
DESIGN TYPE: Custom Design	CLIENT: Lot 26, No.12 Charles Street, Drouin

Areas Existing Dwelling: 134.61 sqm (14.48sq)	Areas Proposed Unit 2: 125.83 sqm (13.54sq)
Proposed Carport: 21.00 sqm (2.26sq)	Unit 2 Garage: 23.59 sqm (2.54sq)
Existing Verandah: 15.50 sqm (1.67sq)	Unit 2 Porch: 2.40 sqm (0.26sq)
Existing Porch: 4.68 sqm (0.50sq)	Total: 151.82 sqm (16.34sq)

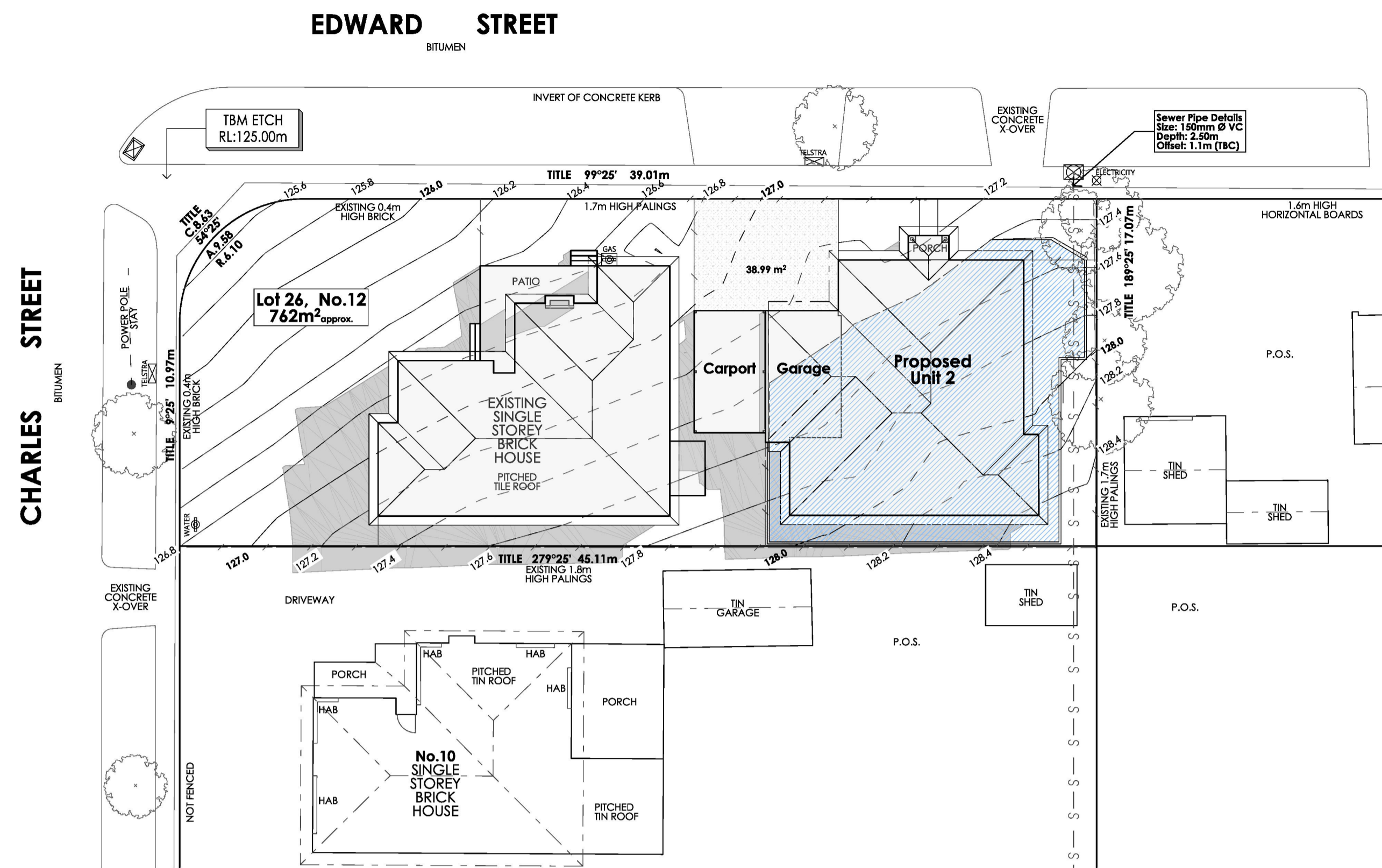
SCALE 1:100, 1:200	DATE August 24
SHEET 5 of 6	DATE August 24

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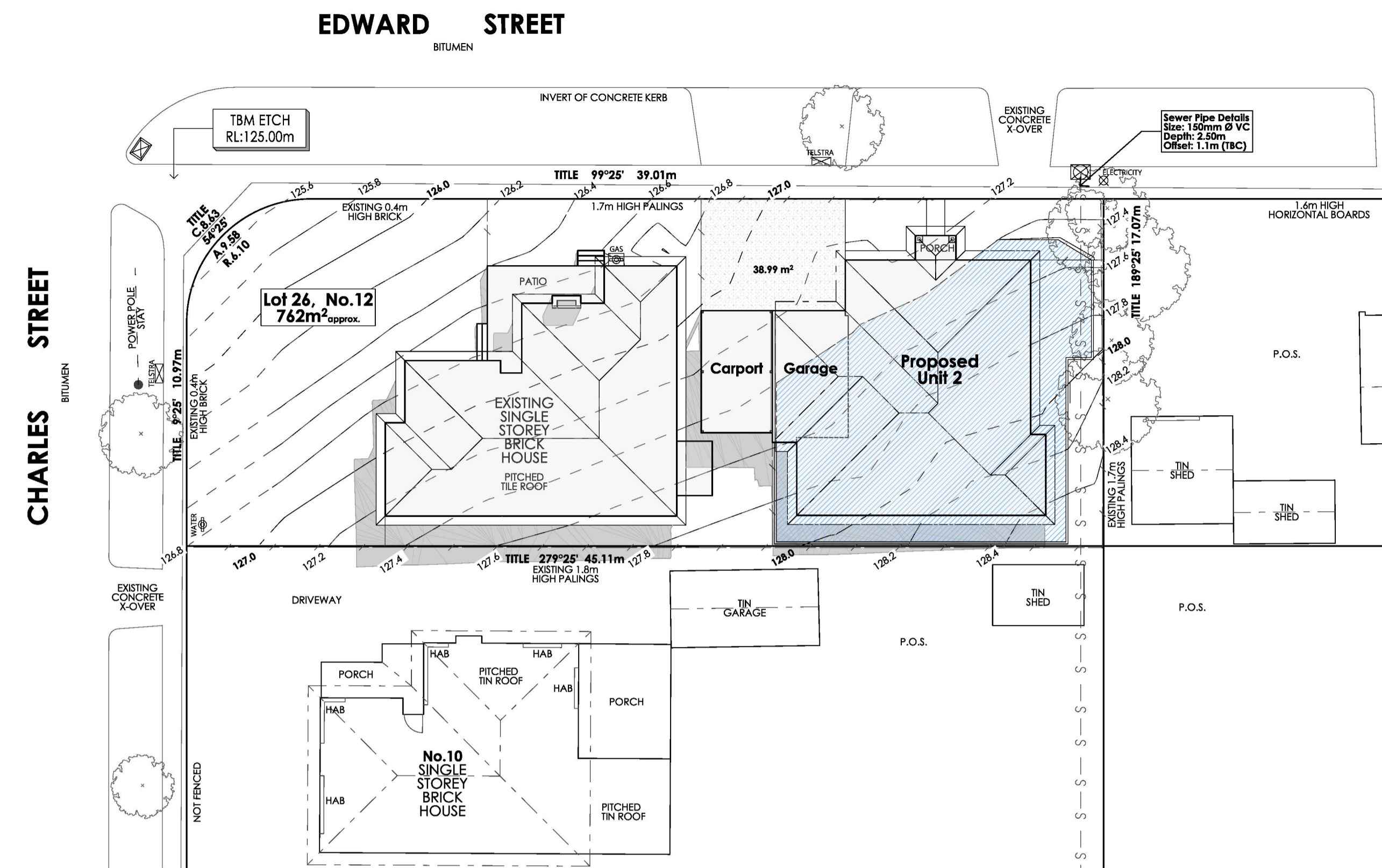
DESIGN GROUP
15/74 2504
Builder DB-M 36842

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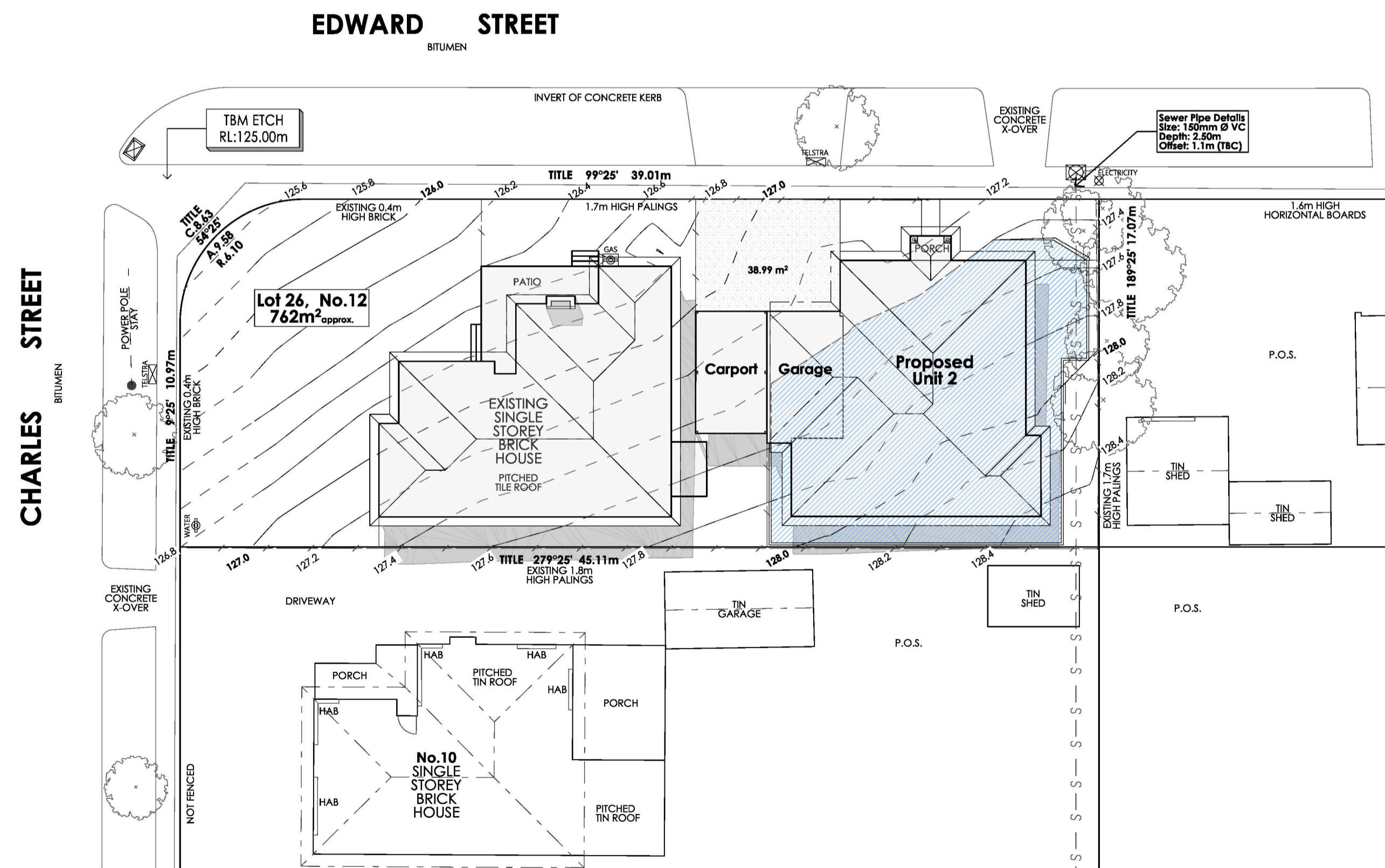
Shadows Sept 22 - 9am 1:200

- DENOTES AREA OF SHADOW EXTENT



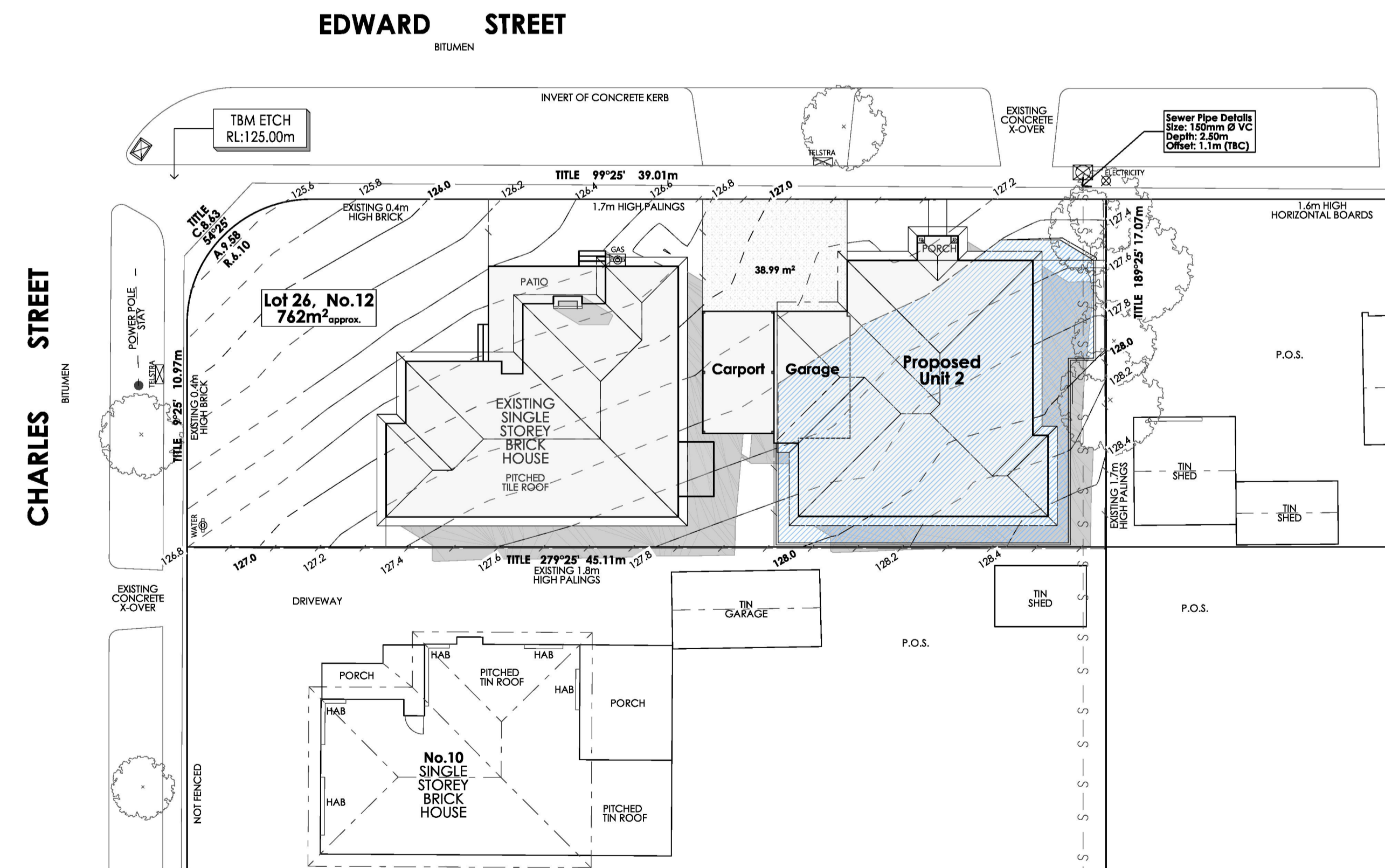
Shadows Sept 22 - 11am 1:200

- DENOTES AREA OF SHADOW EXTENT



Shadows Sept 22 - 1pm 1:200

- DENOTES AREA OF SHADOW EXTENT



Shadows Sept 22 - 3pm 1:200

- DENOTES AREA OF SHADOW EXTENT

DRAWING NAME: Shadow Diagrams	PROJECT: Proposed Dual Occupancy
DESIGN TYPE: Custom Design	CLIENT: Lot 26, No.12 Charles Street, Drouin

Areas	Existing Dwelling: 134.61 sqm (14.48sq)
	Proposed Carport: 21.00 sqm (2.26sq)
	Existing Verandah: 15.50 sqm (1.47sq)
	Existing Porch: 4.68 sqm (0.50sq)
Total:	175.79 sqm (18.72sq)

Areas	Proposed Unit 2: 125.83 sqm (13.54sq)
	Unit 2 Garage: 23.59 sqm (2.54sq)
	Unit 2 Porch: 2.40 sqm (0.26sq)
Total:	151.82 sqm (16.34sq)

SCALE	1:200
SIZE	A1
DRAWN	DC
CHECKED	
DATE	August 24
SHEET	6 of 6

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