



Application for a Planning Permit

Section 1: LAND DETAILS

Unit Number:	Street Number: 106	Street Name: Roberts Court
Town: Drouin	Postcode: 3818	

FORMAL LAND DESCRIPTION (Please complete either A or B – this information can be found on the Certificate of Title)

Option A:

Lot No:	9
Type of Plan: Please tick ✓	Lodge Plan <input type="checkbox"/> Title Plan <input type="checkbox"/> Plan of Subdivision <input checked="" type="checkbox"/>
Plan Number:	216055L

Option B:

Crown Allotment Number:	
Section Number:	
Parish/Township Name:	

Section 2: PERMIT APPLICANT

Name:	
Business:	
Postal Address:	
Telephone No. (H)	
Email Address:	

Section 3: OWNER DETAILS (If different to the Applicant)

Name(s):	
Postal Address:	
Telephone No. (H)	
Email Address:	

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

Section 4: DEVELOPMENT COST - Estimated Cost of development for which the permit is required

85000

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Section 5: PROPOSAL You must give full details of the proposal being applied for. Insufficient or unclear information will delay your application..

Advertised

For what use, development or other matter do you require a permit?

Development:

<input type="checkbox"/> Advertising Signage	<input type="checkbox"/> Development of 2 or more dwellings Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Agricultural Outbuildings	<input type="checkbox"/> Mixed Use Development and Reduction of Carparking
<input type="checkbox"/> Buildings and Works and Reduction in Carparking	<input type="checkbox"/> Residential Outbuildings
<input type="checkbox"/> Commercial or Industrial Buildings and Works	<input type="checkbox"/> Single Dwelling
<input type="checkbox"/> Extension / Alteration to Dwelling	<input type="checkbox"/> Telecommunications

Use:

<input type="checkbox"/> Buildings and Works and Change of Use	<input type="checkbox"/> Home Based Business
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Sale and Consumption of Liquor
<input type="checkbox"/> Change of Use and Single Dwelling	

Subdivision:

<input type="checkbox"/> Boundary Realignment	<input type="checkbox"/> 3 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>
<input type="checkbox"/> Variation/ Removal of Restriction	<input type="checkbox"/> Create an easement
<input type="checkbox"/> 2 Lot Subdivision	<input type="checkbox"/> 100 or more Lot Subdivision Qty: <input style="width: 50px;" type="text"/>

Subdivision / Vegetation Removal:

<input type="checkbox"/> Native Vegetation Removal or Lopping	<input type="checkbox"/> Non Native Vegetation Removal or Lopping (ESO4)
<input type="checkbox"/> Subdivision Qty: <input style="width: 50px;" type="text"/>	<input type="checkbox"/> Alteration of access RDZ1

Other:

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, Section 173 agreement or other obligation such as an easement or building envelope?

Yes No Not Applicable (no such covenant, section 173 agreement or restriction applies)

If yes, you should contact Council for advice as to how to proceed with the application.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

FURTHER DETAILS OF PROPOSAL (optional)

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Section 6: EXISTING CONDITIONS Describe how the land is used and developed now.

Advertised

Provide a plan of the existing conditions. Photos are also helpful.

existing commercial shed and carport

Section 7: PRE-APPLICATION MEETING Has there been a Pre-Application meeting with a Council Planning Officer?

No

Yes

If yes, with whom?

Date of this meeting

Section 8: DECLARATION This form must be signed. Complete box A or B

A. I declare that I am the Applicant and owner of this land and that all information given is true and correct.

Owner/ Applicant signature:

Date:

B. I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct.

Applicant Signature:

Date: 30/09/2024

CHECK LIST Please ensure you have included the following items with your application form. *Failure to provide all the information above may result in a delay in the processing of the application.*

A fully completed and signed copy of this form.

Most applications require a fee to be paid. *Please make payment at time of lodgement if submitting at Councils Customer Service Centre or submitting through our on-line portal. If emailing your application, a payment link will be sent to your nominated email once registered on the system.*

Contact Council to determine the appropriate fee.

Full and current copy of title and title plan (no older than 60 days) for each individual parcel of land forming the subject site. The title includes: the covering register search statement, the title plan and the associated title documents (known as instruments).

Provided plans showing the layout and details of the proposal

Provided any information required by the planning scheme, requested by Council

Provided a description of the likely effect of the proposal (if required)

Completed the declaration in Section 8

Provided a contact phone number and e-mail address

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

PLEASE FORWARD THIS APPLICATION TO

Advertised

E-mail:	planning@bawbawshire.vic.gov.au	Mail:	Planning Department, Baw Baw Shire Council PO Box 304 Warragul VIC 3820
Phone:	5624 2411		
In Person:	Customer Service Centre: 33 Young Street Drouin		

The personal information requested on this form is being collected to enable council to consider the permit application. Council will use this information for this purpose or one closely related and may disclose this information to third parties for the purpose of their consideration and review of the application.

These third parties generally include, but are not limited to:

Transport Infrastructure Agencies such as VicRoads and VLine

Energy/Utilities Providers

Catchment Management Authorities and Water Corporations

The specific referral bodies will be dependent on factors such as the proposed activities and the location of the applicable property. Applicants are encouraged to familiarise themselves with potential referral bodies.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review of the application as part of a planning process specified in the Planning and Environment Act 1987.

All information collected and held by Council is managed in accordance with Councils Privacy Policy which is available on our website. If you choose not to supply the requested information it may impair the ability of Council to consider your application or prevent Council from communicating with you in relation to your application.

If you have any concerns or require access to the information held by Council, please contact us on 5624 2411.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Baw Baw Shire council
Planning Department
PO Box 304
Warragul
Vic 3820

Application No: PLA0214/24
Proposal: Development of a Industrial outbuilding
Address: 106 Roberts Court Drouin

Thank you for your letter dated 28th October 2024. Our response is as follows

1. I believe that this payment has been made. If this is not the case please let me know
2. A planning report has been attached as requested
3. Amended site plan has been attached as requested including the easement location, setbacks and vegetation. There is currently no vegetation to be removed from the site as shown on the attached updated aerial image. The existing site is clear and level and has been confirmed with the owner that this is the case. No retaining walls are required to be constructed as a part of this application. There are no trees in close proximity to the proposed site. We have not been able to ascertain if a pipe is existing in the easement along the rear property boundary. Property services have been obtained from Gippsland water in relation to assets and have been found to not be located in the easement (these property services have been attached)
4. The floor plan has been amended as requested and includes the information required
5. Amended elevation plans have been attached as requested
6. An chmp exemption has been attached as requested. This was obtained from the first peoples relations website through their online tool
7. As per the supplied online tool results, chmp is not required for this activity

If there is anything further required for this application, please feel free to contact me on 51745688 or via email at admin@b4ubuild.net.au

Kind regards

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Planning Report
Address: 106 Roberts Court Drouin

The proposed building is to be located at on a large industrial property in the industrial estate at 106 Roberts Court Drouin. The property is an existing developed site and will be used in addition to the existing shed, carport and office area on the site. The additional shed will be used for storage of the existing company, including work vehicles/trucks not being used for that particular day. This is to provide a secure location for these vehicles

The property is located in an Industrial Zone 1 (INZ1), Bushfire Management Overlay ((BMO) and a Development Contributions Overlay – Schedule 1 (DCPO)

Industrial Zone

The proposed structure is to be a steel framed and clad building similar to existing buildings on the site and on the surrounding properties. The building is to be used by the existing business on the site, this being a haulage company. The site is used for the daily workings of the business only and storage of the company vehicles when not in use. This proposed shed will ensure all vehicles are secure from theft. No good are to be retained on the site at any time.

The land not for immediate use will be regularly maintained by the property owner through general cleaning and spraying of weeds. The site is generally clear of any vegetation and grass so maintenance will be minimal.

I don't believe that a licence will be required from the EPA for these activities as not detrimental to the site. No notification of dangerous good are required for the site as there are none to be stored on the site.

The proposed shed will not add to the noise levels of the area as this proposal will not increase the number of staff on site or vehicles on the site at any one time. Vehicles are currently being stored outside in the elements and this shed will provide secure protection from the weather and ensure the longevity of the vehicles.

The proposed will net provide a deterrent from the street as all buildings in the area are of the same style to this shed. Either side to the property are sheds of similar size and style. A long driveway entering the site will also help to retain the existing streetscape.

Parking areas on the site will remain the same as they currently are, this being the existing carport on the site with an existing concrete slab, designating the parking area. We are not proposing any landscaping as a part of this application. No further lighting is proposed for this shed and stormwater will be connected to the existing stormwater connection as designated by the Legal Point of Discharge.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Development Contributions Overlay

The existing site is a developed site which has been in its current state for some time. This overlay is exempt as the proposal is not for a new development but rather an addition to an existing development.

Bushfire Management Overlay

The proposed shed falls outside of the existing BMO overlay on the site as shown on the site plan. If bushfire treatment should be required for this building it will be supplied and installed as permit the regulations.

Clause 13.02 – Bushfire

The proposed building is outside the existing BMO overlay on the site. Adjoining the site to the north is a domestic property in a Low Density Residential Zone (LDRZ) which appears to be used for farming purposes and is outside of the BMO area. It is currently clear of all vegetation and does not have a dwelling constructed it. We would expect that this would remain the same for the immediate future. Industrial zoned areas surround the site on all other boundaries.

Clause 17.03 – Industry

The property is an existing site and not a new development.

Clause 53.10 – Uses and Activities with Potential Adverse Impacts

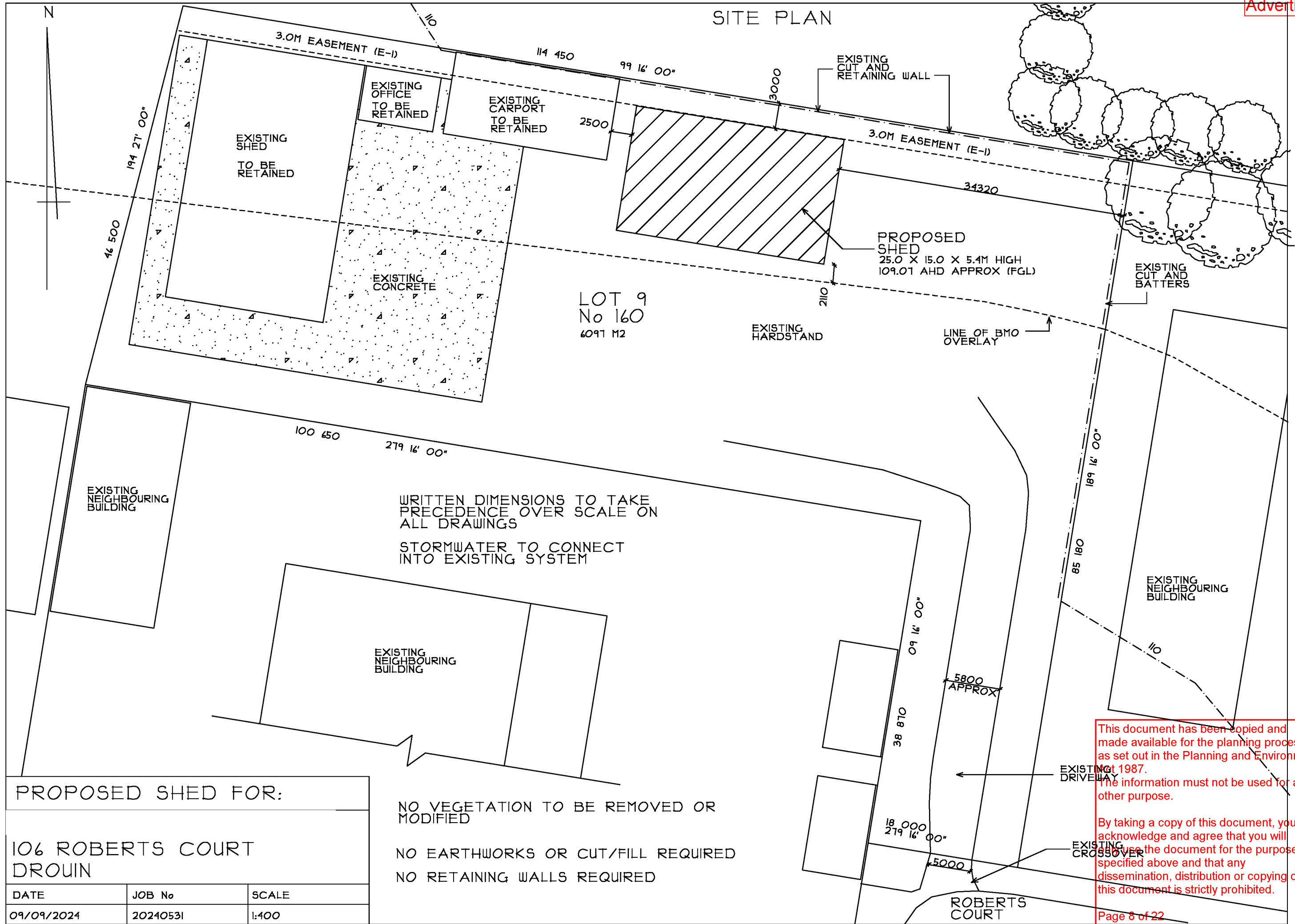
The property is currently adjoining a residential property (LDRZ). While The business being conducted is a transport/haulage company, there are no processes listed in the table 53.10-1 that apply to this building. There are to be no processes conducted on the site or storage of products.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

SITE PLAN



WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE ON ALL DRAWINGS

STORMWATER TO CONNECT INTO EXISTING SYSTEM

NO VEGETATION TO BE REMOVED OR MODIFIED

NO EARTHWORKS OR CUT/FILL REQUIRED

NO RETAINING WALLS REQUIRED

PROPOSED SHED FOR:

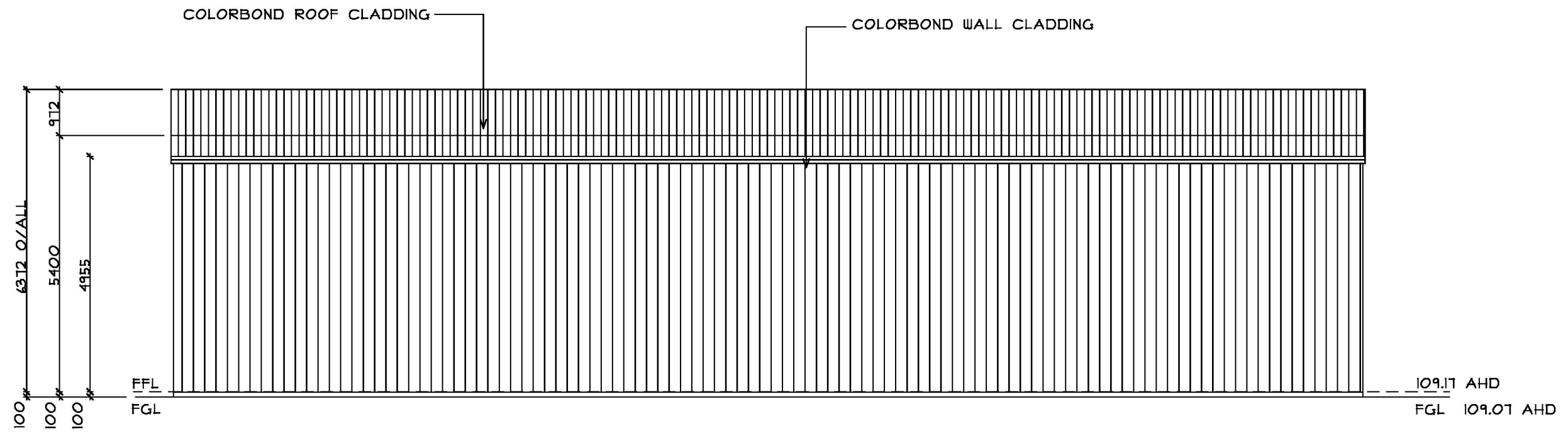
106 ROBERTS COURT
DROUIN

DATE	JOB No	SCALE
09/09/2024	20240531	1:400

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will not use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 8 of 22

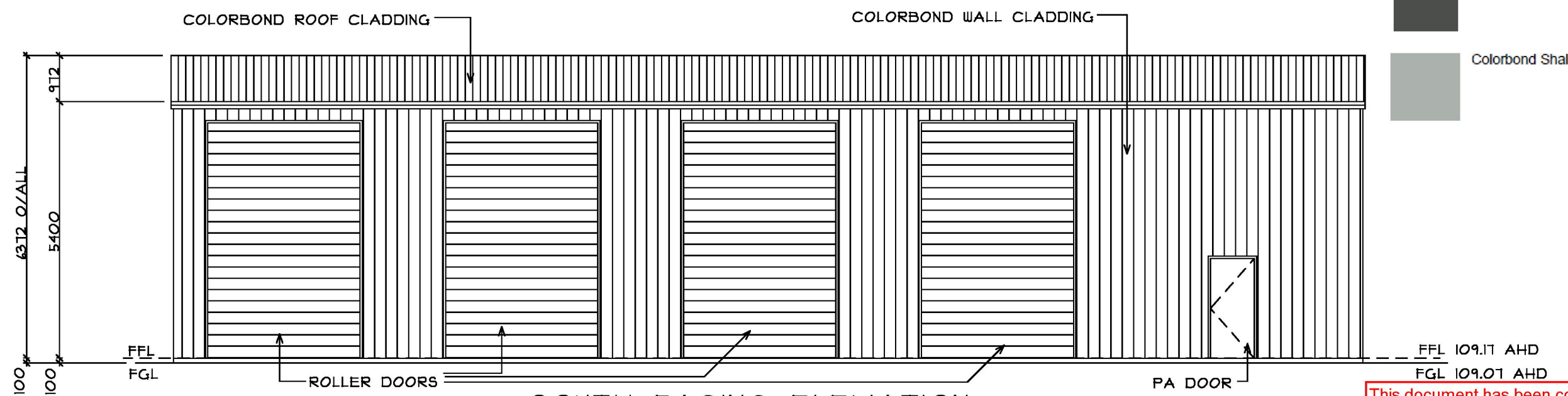


NORTH FACING ELEVATION

Colorbond Classic Cream

Colorbond Monument

Colorbond Shale Grey



SOUTH FACING ELEVATION

COLORBOND CLASSIC CREAM ROOF CLADDING. PROFILE AS SELECTED

COLORBOND MONUMENT WALL CLADDING PROFILE AS SELECTED

COLORBOND SHALE GREY TO ROLLER DOORS

COLORBOND MONUMENT TO TRIMS OF SHED

REINFORCED CONCRETE FOOTINGS

STRUCUTRAL STEEL FRAME AS PER ENGINEERS DESIGN

NOT CUT/FILL REQUIRED

NO VEGETATION TO BE REMOVED OR MODIFIED

EXISTING RETAINING WALLS/BATTERS TO REMAIN

AMENDED 23/01/2025

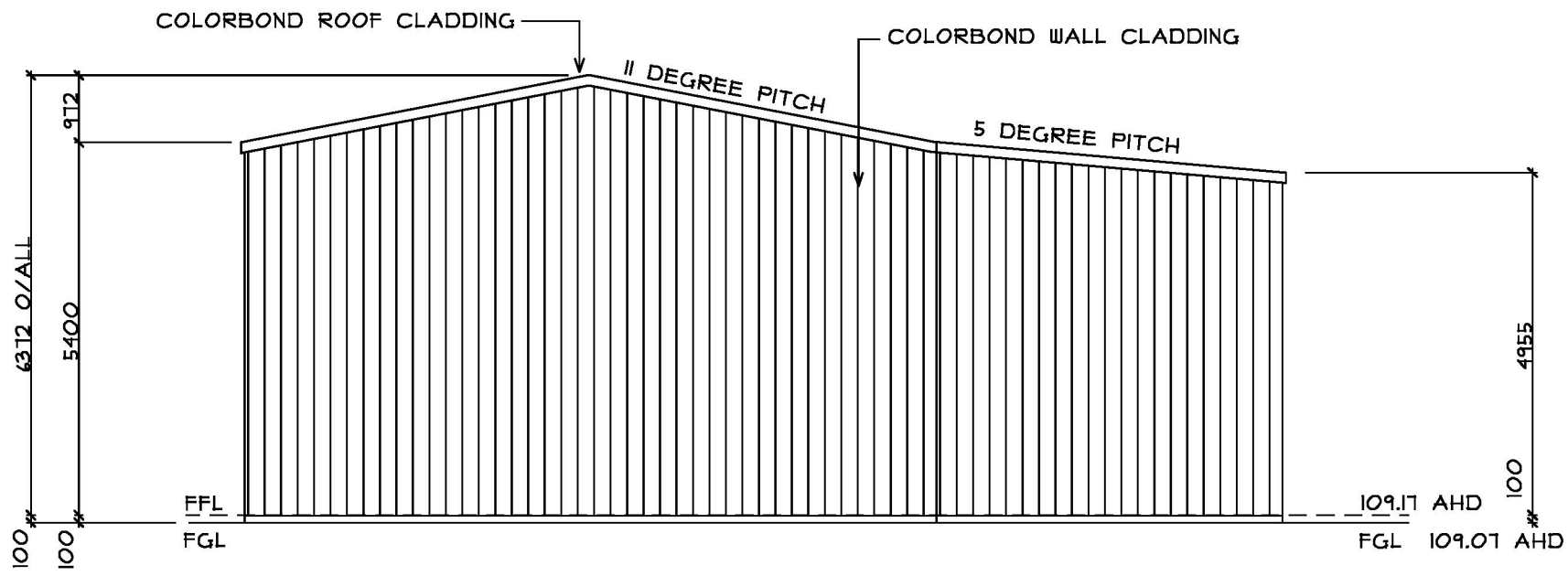
PROPOSED SHED FOR:		
106 ROBERTSON COURT DROUIN		
DATE	JOB No	SCALE
09/09/2024	20240531	1:100

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

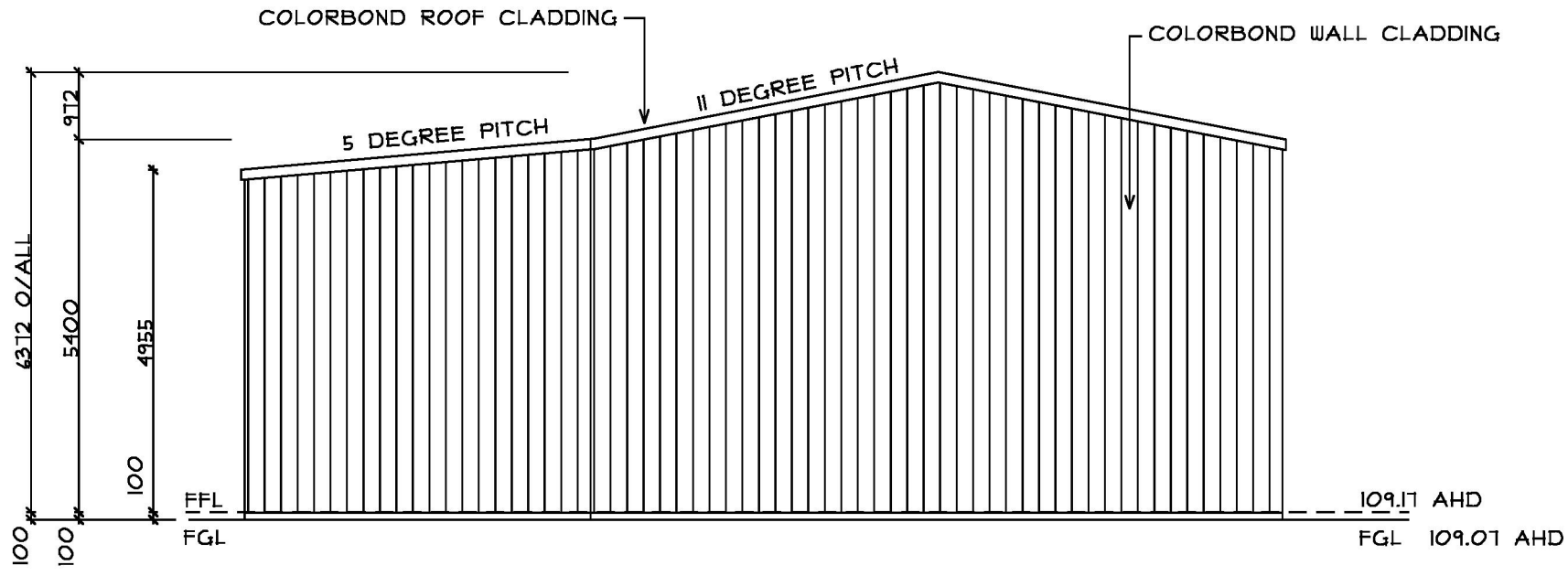
The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the information for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 9 of 22



EAST FACING ELEVATION



WEST FACING ELEVATION

Colorbond Classic Cream

Colorbond Monument

Colorbond Shale Grey

COLORBOND CLASSIC CREAM ROOF CLADDING. PROFILE AS SELECTED
 COLORBOND MONUMENT WALL CLADDING PROFILE AS SELECTED
 COLORBOND SHALE GREY TO ROLLER DOORS
 COLORBOND MONUMENT TO TRIMS OF SHED

REINFORCED CONCRETE FOOTINGS
 STRUCTURAL STEEL FRAME AS PER ENGINEERS DESIGN
 NOT CUT/FILL REQUIRED
 NO VEGETATION TO BE REMOVED OR MODIFIED
 EXISTING RETAINING WALLS/BATTERS TO REMAIN

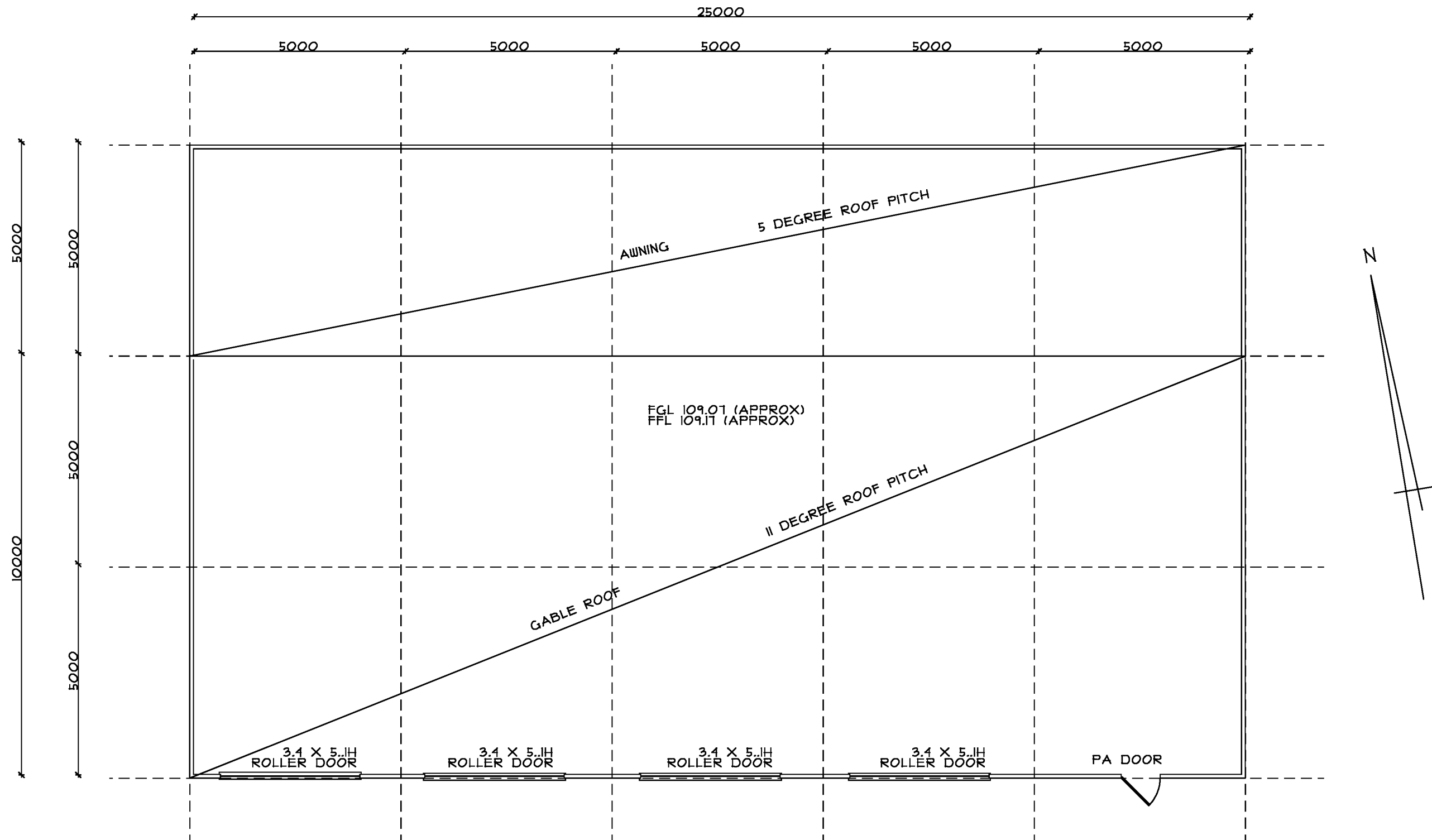
AMENDED 23/01/2025

PROPOSED SHED FOR:		
106 ROBERTS COURT DROUIN		
DATE	JOB No	SCALE
09/09/2024	20240531	1:100

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE ON ALL DRAWINGS

COLORBOND ROOF CLADDING. PROFILE AS SELECTED BY OWNER

COLORBOND WALL CLADDING. PROFILE AS SELECTED

COLOURS AS NOTED ON ELEVATION PLANS

NO INTERNAL WALLS PROPOSED

REINFORCED CONCRETE FOOTINGS

STRUCTURAL STEEL FRAMING AS PER ENGINEERS DESIGN

NOT CUT/FILL REQUIRED

NO VEGETATION TO BE REMOVED OR MODIFIED

EXISTING RETAINING WALLS/BATTER TO REMAIN

AMENDED 23/01/2025

PROPOSED SUELED FOR:

106 ROBERTS COURT DROUIN

DATE	JOB No	SCALE
09/09/2024	20240521	1:100

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use this document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

LDRZ

IN1Z

BMO

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Untitled Map

Write a description for your map.

Legend

Advertised

106 Roberts Ct

Roberts Ct

Google Earth

Image © 2025 Airbus

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 13 of 22

40 m



Process List

Project Name: 106 Roberts Court

Project Location: Drouin

Date: 21-Jan-2025

	QUESTION	ANSWER
Question 1	Is the proposed activity , or all the proposed activities, exempt?	No
Question 2	Are you undertaking a High Impact Activity as listed in the Aboriginal Heritage Regulations?	Yes
Question 2(b)	Is the activity for or associated with a purpose for which the land was being lawfully used prior to 28 May 2007?	Yes
Answer:	<p><u>ON THE BASIS OF THE ANSWERS YOU HAVE ENTERED</u></p> <p>YOU ARE NOT REQUIRED BY THE REGULATIONS TO PREPARE A CULTURAL HERITAGE MANAGEMENT PLAN FOR THIS PROJECT</p>	
	<p>This process list is for information purposes only; the result must not be relied upon by a statutory authority in deciding whether a cultural heritage management plan is required for a proposed activity.</p>	

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

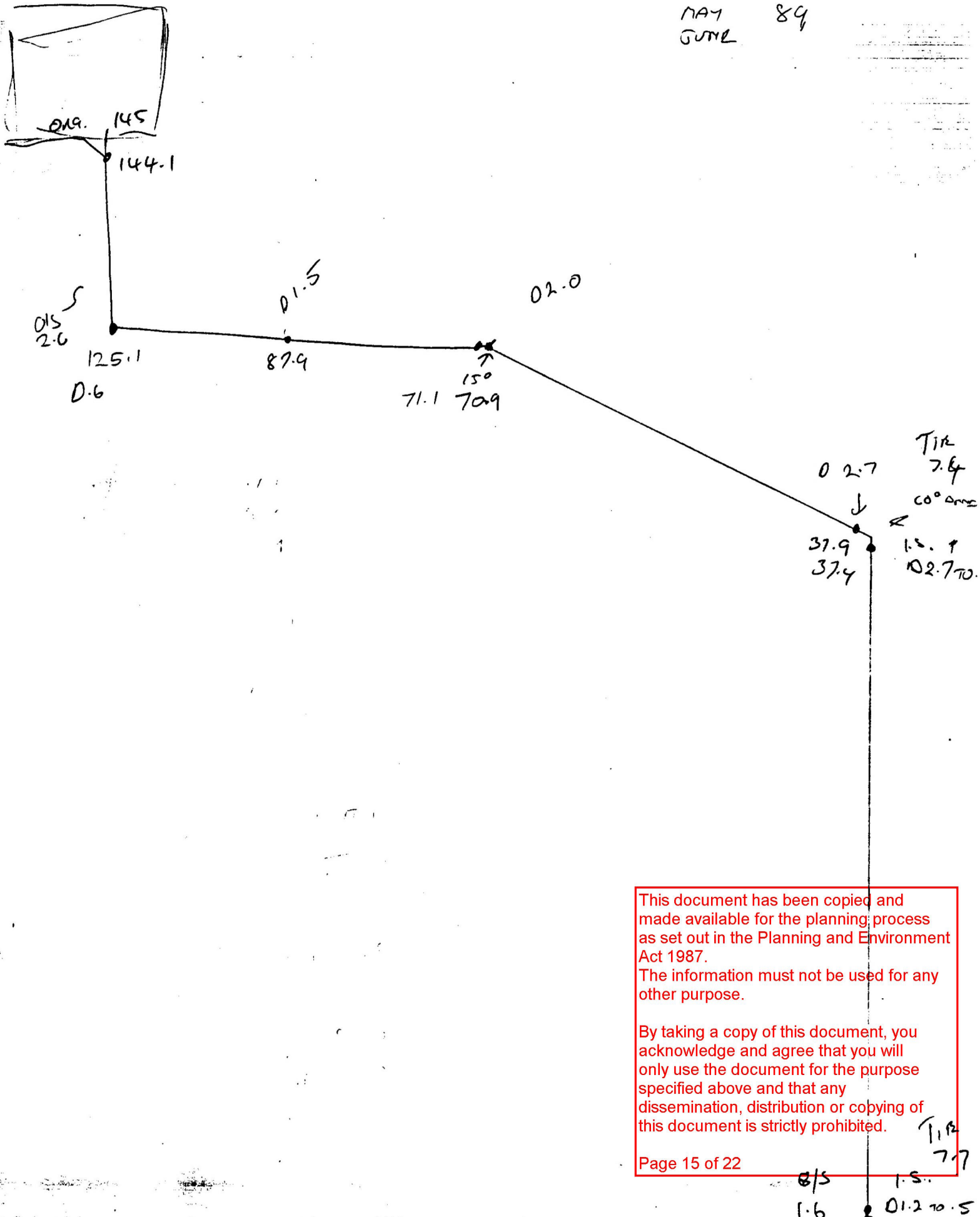
By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

LOT 9. ROSSMITS CIT DIM

14-12-92-

Advertised

MAY 89
JUNE



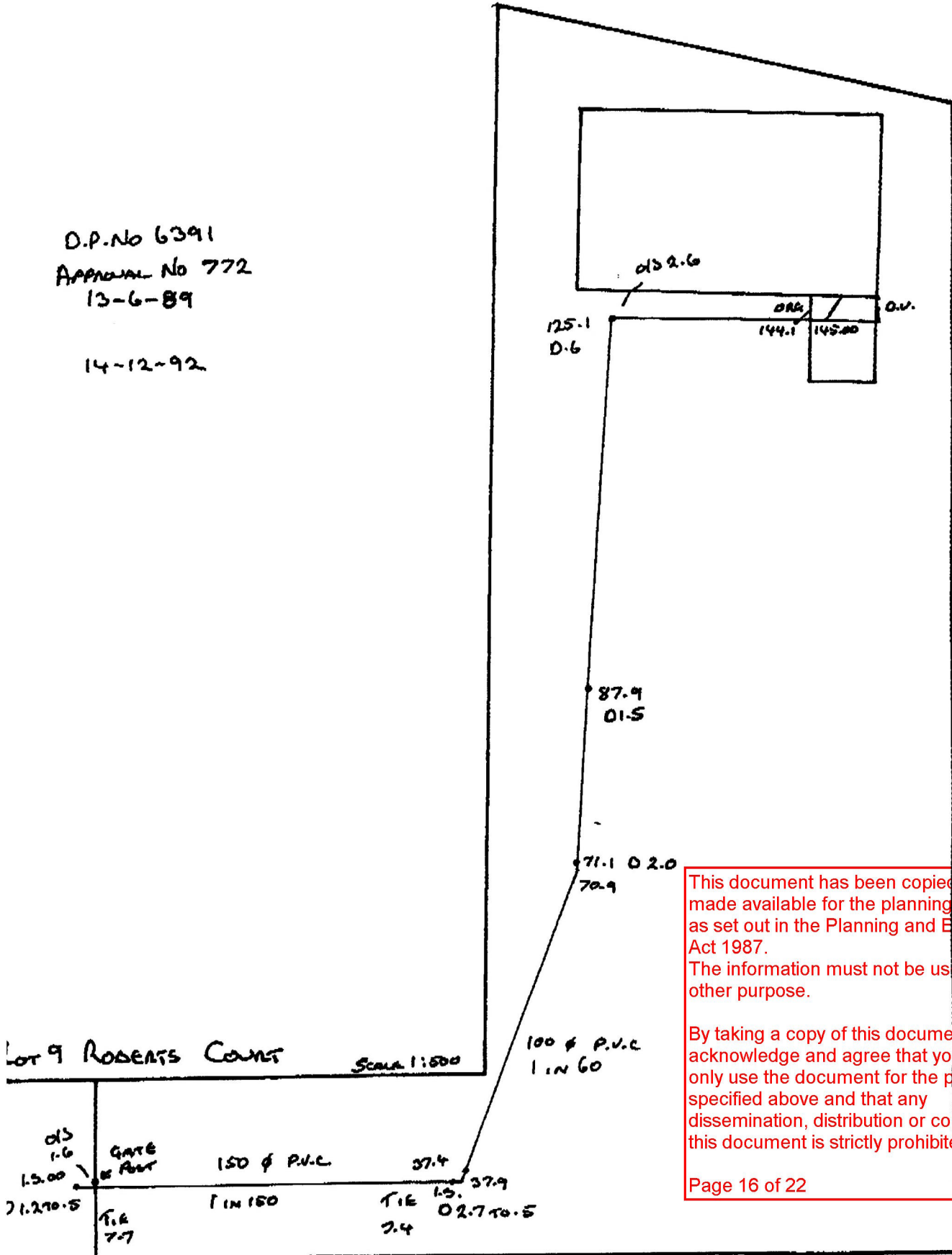
This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 15 of 22

D.P. No 6391
Approval No 772
13-6-89

14-12-92



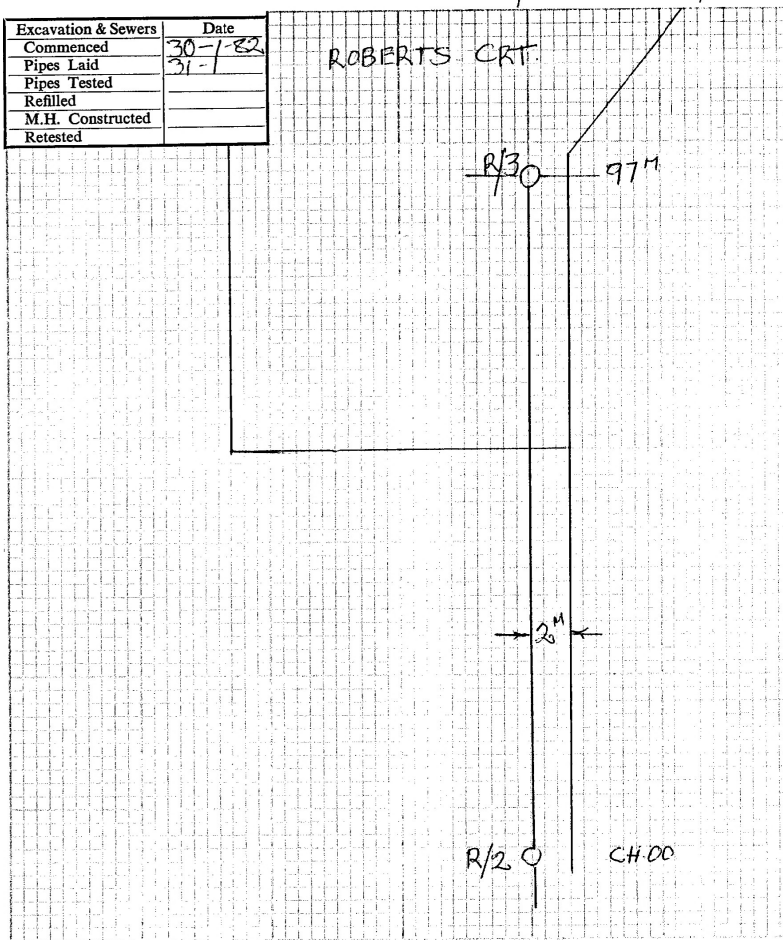
This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Excavation & Sewers	Date
Commenced	30-1-82
Pipes Laid	31-1-82
Pipes Tested	
Refilled	
M.H. Constructed	
Retested	

ROBERTS CRT

Advertised



Details	No.	Lin. Ft.
Pipes		
Part Pipes		
O.Bs.		
	Total	97 ^m
Joints	R.R.	
Excavation	0-6	
	6-9	97 ^m
	9-12	
	12-15	
	15-20	
	20-25	
	25-30	
Type of Bedding	A1	
Total Length		
Grade	1:146	
Diam. & Type	225 ^{mm} V.C.	
F. Book No.:-	Profile Sheet:-	
Quantities:-	Detail Sheet:-	

Manhole No. R/3		
Type		2
Cover		2 M.P.
R.L. Cover	107.05	
R.L. Invert	104.15	
R.L. Natural Surface	106.98	
Depth	2 ^m	9 ^m
Steps		6
Manhole Drops	4"	6"
Pipes		
Part Pipes	0.6 ^m	
Half Round Pipes		
I.O. Bends		1
90° Bends		1
9" to 6" I.O. Bends		
Discs		
Concrete Total Cub. Yds.		

Branch	Dist.	Rise Type	Rise Ht.	Depth		O.B.	Bends	Pipes	27 As.	I.O.	I.O. Bends	Discs.	Length
				Invert	H.B.								

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 17 of 22

Untitled Map

Write a description for your map.

Legend **Advertised**

📍 106 Roberts Ct



This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09994 FOLIO 598

Security no : 124118109789X
Produced 09/09/2024 03:49 PM

LAND DESCRIPTION

Lot 9 on Plan of Subdivision 216055L.
PARENT TITLES :
Volume 09782 Folio 684 to Volume 09782 Folio 685
Created by instrument LP216055L 18/12/1990

REGISTERED PROPRIETOR

Estate Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AU807972R 14/09/2021
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP216055L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 106 ROBERTS COURT DROUIN VIC 3818

ADMINISTRATIVE NOTICES

NIL

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

Page 19 of 22

Baw Baw Shire council
Planning Department
PO Box 304
Warragul
Vic 3820

To whom it may concern

Proposal: Construction of a Warehouse/Shed
Address: 106 Roberts Court Drouin

Please find attached a new application for a new shed at the above mentioned address.

The proposed shed is to be constructed on a large industrial site in Drouin, that also has an existing building and carport located on the site. The new warehouse will be used as a workshop for the existing trucks owner by the company with truck access via roller doors. There is an existing office space and staff facilities on the site and as such will not require these to be included in this shed space. The current business on this site is a haulage company with the business hours of Monday – Friday, 7am -4pm. This building will not result in these hours changing or an increase of traffic to the site. We are also not proposing any further carparking on the site aside from what is already there. The proposed structure will also not result in the need to hire any further staff for the site.

This proposed shed is to be 25.0 x 15.0m x 5.4m high building, located on the northern boundary on the property. This shed will be a structural steel frame on a reinforced concrete footings only. The colours of the shed have been noted on the attached elevations and will be to match in with the existing buildings on the site.

There are several different types of businesses in the immediate area. The proposed building style and external treatment is similar to that of existing businesses in the area and would not create a negative visual impact in this area. There is existing security fencing on the property with no further proposed. Access to the site will be via an existing driveway and crossover to the south of the site.

This proposed shed will not create any additional noise, vibrations or odour/fumes to the surrounding area.

If there is anything further required for this application, please feel free to contact me on 51745688 or via email at admin@b4ubuild.net.au

Kind regards

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.
The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	LP216055L
Number of Pages (excluding this cover sheet)	1
Document Assembled	09/09/2024 15:49

Copyright and disclaimer notice:

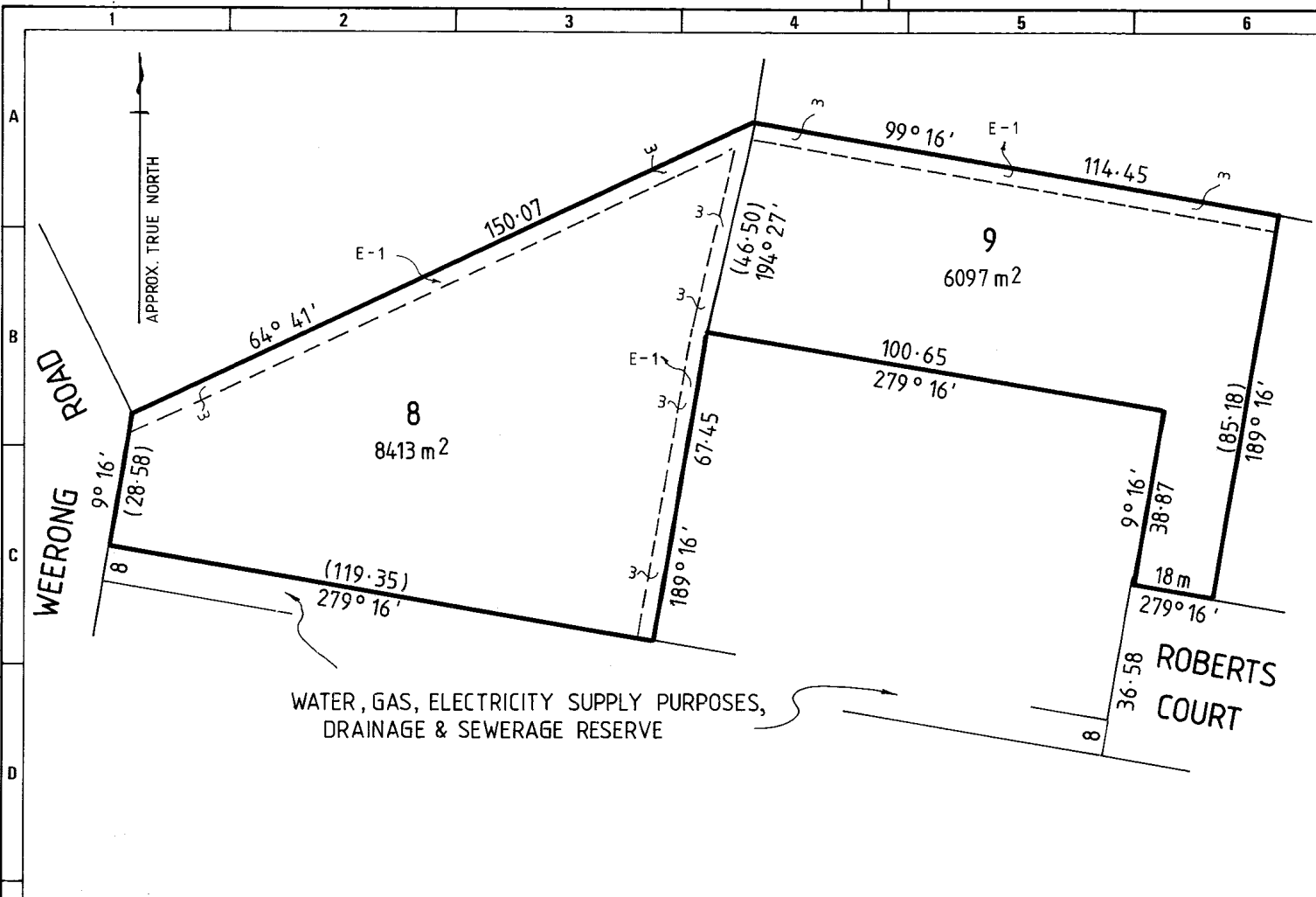
© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.

The information must not be used for any other purpose.

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



OFFICE USE ONLY
LP216055L
EDITION 1
Advertised

NOTATIONS
LAND SUBJECT TO EASEMENT
 NIL
LAND APPROPRIATED OR SET APART
 E-1 DRAINAGE & SEWERAGE

TO BE COMPLETED WHERE APPLICABLE
 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NOS:
 IN PROCLAIMED SURVEY AREA NO.
 THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES
 TITLE REF: V.9782 F.684 , V.9782 F.685
 LAST PLAN REF: LOT 9 & Part of LOT 8 L.P. 209730 N

PLAN OF SUBDIVISION
 This document has been copied and made available for the planning process as set out in the Planning and Environment Act 1987.
 TOWNSHIP DROUIN SECTION 43 used for any other purpose.
 CROWN ALLOTMENT 43 (PART)

By taking a copy of this document, you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.
 NUMBER OF SHEETS IN PLAN: 10
 NUMBER OF THIS SHEET: 20
 SCALE: 1:1000
 ORIGINAL SHEET SIZE: A3
LP 216055L
 Page 22 of 22
 VICTORIA

CERTIFICATION BY SURVEYOR
 I, _____ of _____ certify that this plan has been prepared from a survey made under my immediate direction and supervision, in accordance with the *Surveyors Act 1978* and completed on _____ that this plan is accurate and correctly represents the adopted boundaries and the classification of the survey is _____
 Date: _____
 Licensed Surveyor,
Surveyors Act 1978.

CERTIFICATE OF MUNICIPAL CLERK
 MUNICIPALITY BULN BULN COUNCIL REF. 37400-000800(d)
 CERTIFICATE A
 THIS PLAN ACCORDS WITH A PLAN
 ■ SEALED BY THE COUNCIL UNDER SECTION 569B OF THE LOCAL GOVERNMENT ACT 1958 ON _____
 ■ CONFIRMED BY THE PLANNING APPEALS BOARD ON _____
 ■ AND A REQUIREMENT/NO REQUIREMENT PURSUANT TO SECTION 569E OF THE LOCAL GOVERNMENT ACT 1958 HAS BEEN MADE
 DATE _____ MUNICIPAL CLERK _____

OFFICE USE ONLY
 PLAN APPROVED
 AT _____
 ON **18-12-90**
 (ASSISTANT) REGISTRAR OF TITLES

AMENDMENTS
 SURVEYORS REF. **29(d)**

CERTIFICATE B
 THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION (3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT 1958 BY
 ■ THE COUNCIL ON _____
 ■ THE PLANNING APPEALS BOARD ON _____
 DATE _____ MUNICIPAL CLERK _____